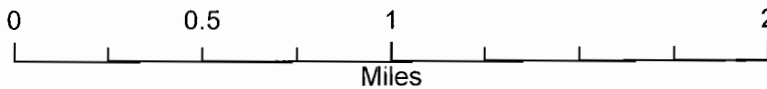
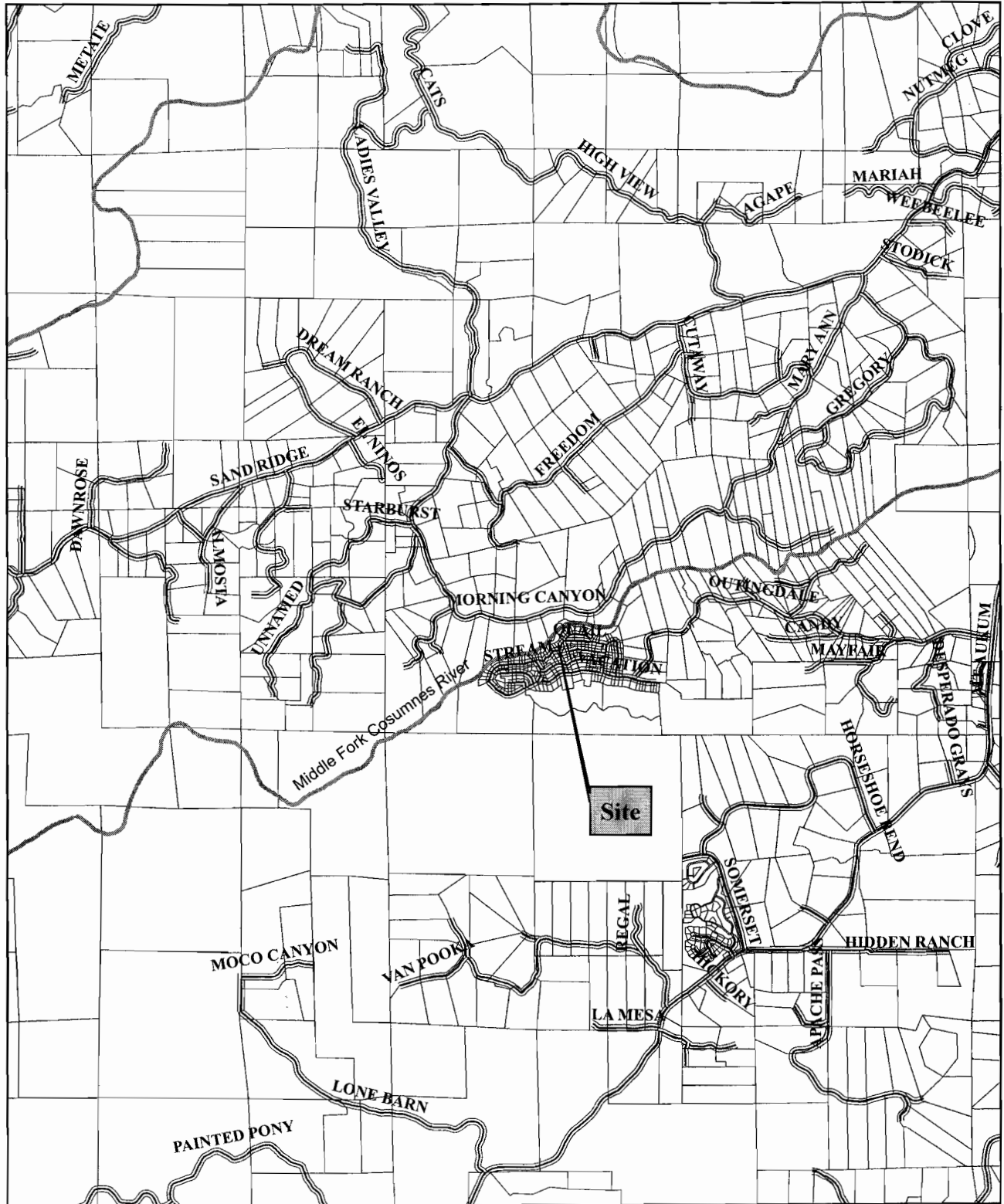
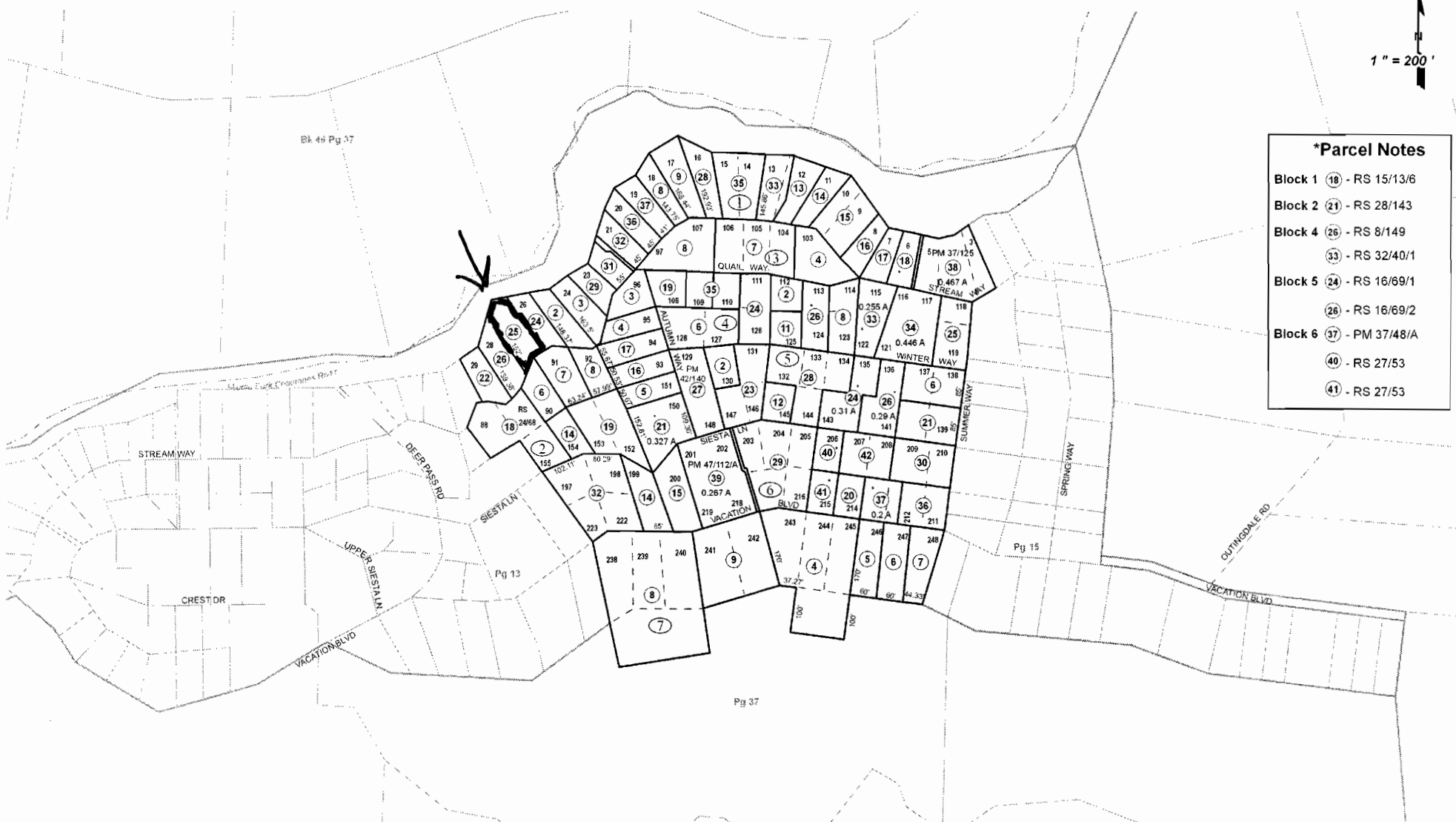
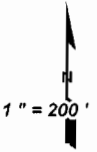


Location Map



POR. SEC. 23 T.9N., R.11E., M.D.M.
 OUTINGDALE
 A-11

46:14



***Parcel Notes**

Block 1	(18) - RS 15/13/6
Block 2	(21) - RS 28/143
Block 4	(26) - RS 8/149
	(33) - RS 32/40/1
Block 5	(24) - RS 16/69/1
	(26) - RS 16/69/2
Block 6	(37) - PM 37/48/A
	(40) - RS 27/53
	(41) - RS 27/53

THIS MAP IS NOT A SURVEY. It is prepared by the El Dorado Co. Assessor's office for assessment purposes only. Area calculations and characteristics are not guaranteed. Users should verify items such as dimensions and acreage.

Acreages Are Estimates

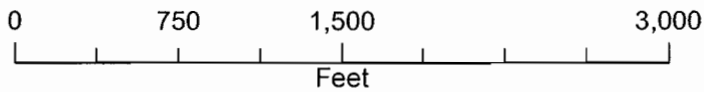
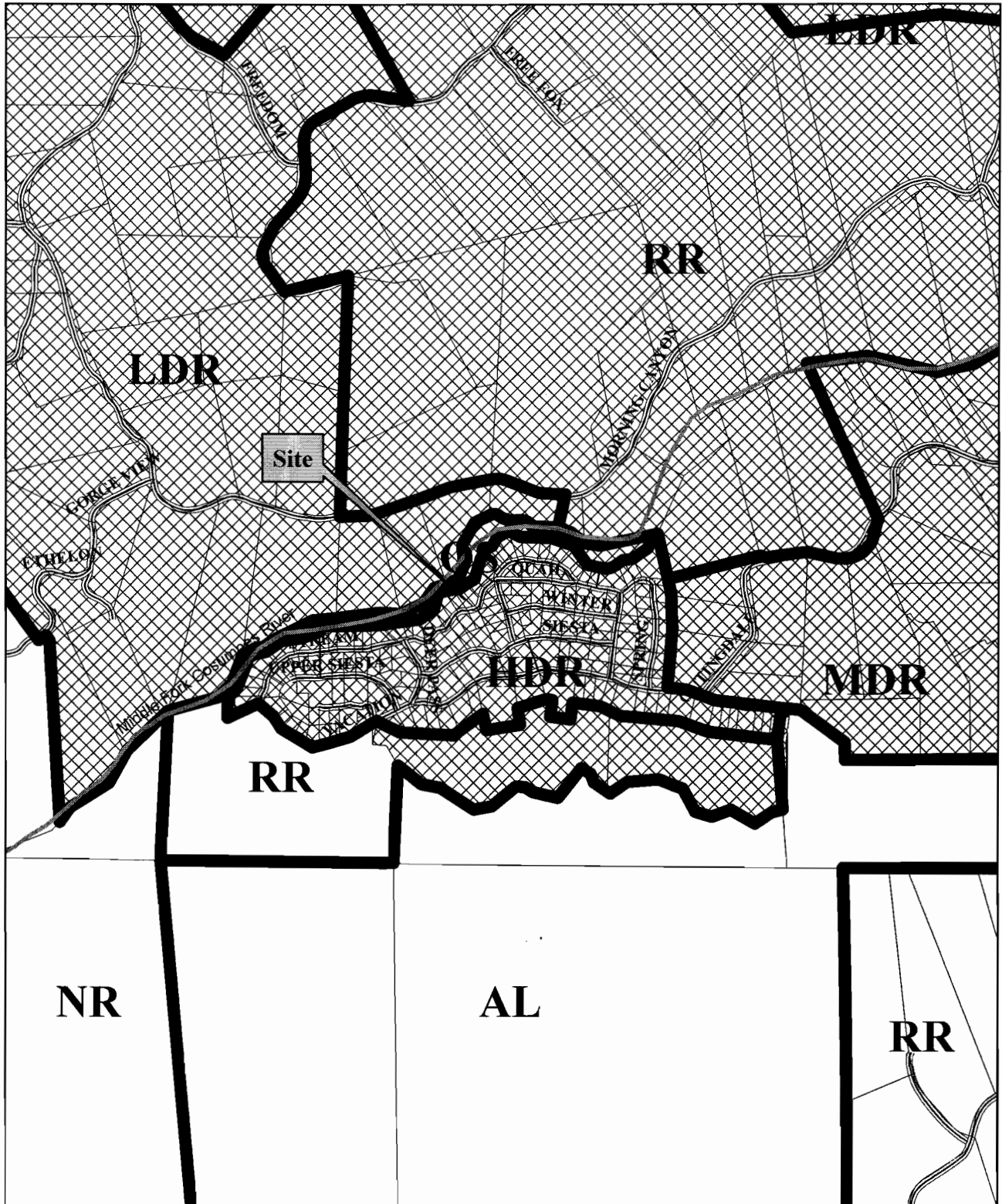
Adjacent Map Pages Shown in Grey Text
 Assessor's Block Numbers Shown in Italics
 Assessor's Parcel Numbers Shown in Circles

Rev. March 29, 2010

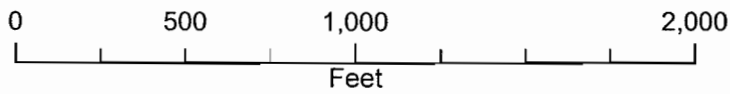
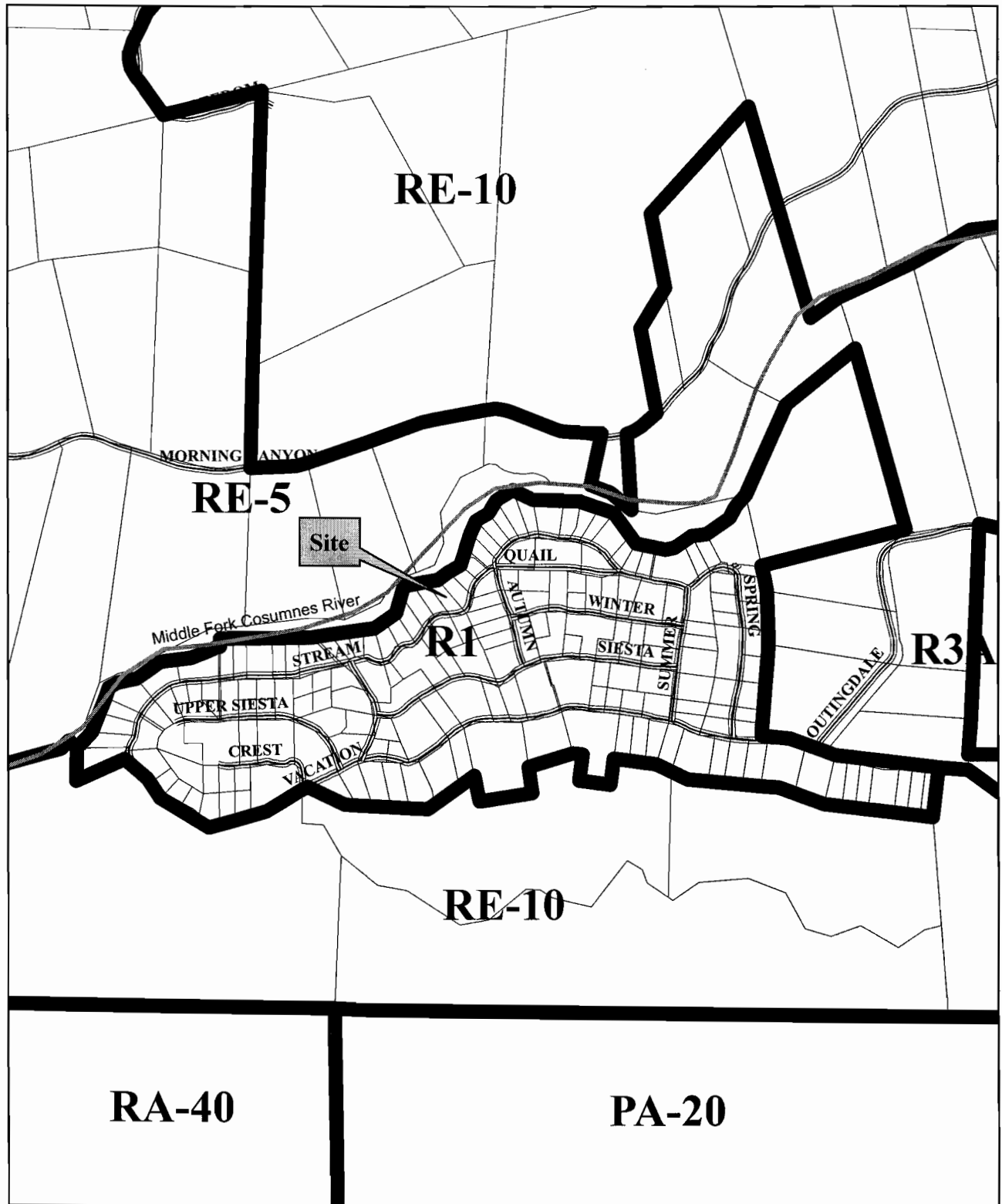
Assessor's Map Bk 046, Pg. 14
 County of El Dorado CA

Exhibit B

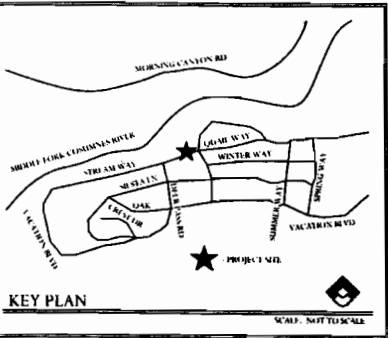
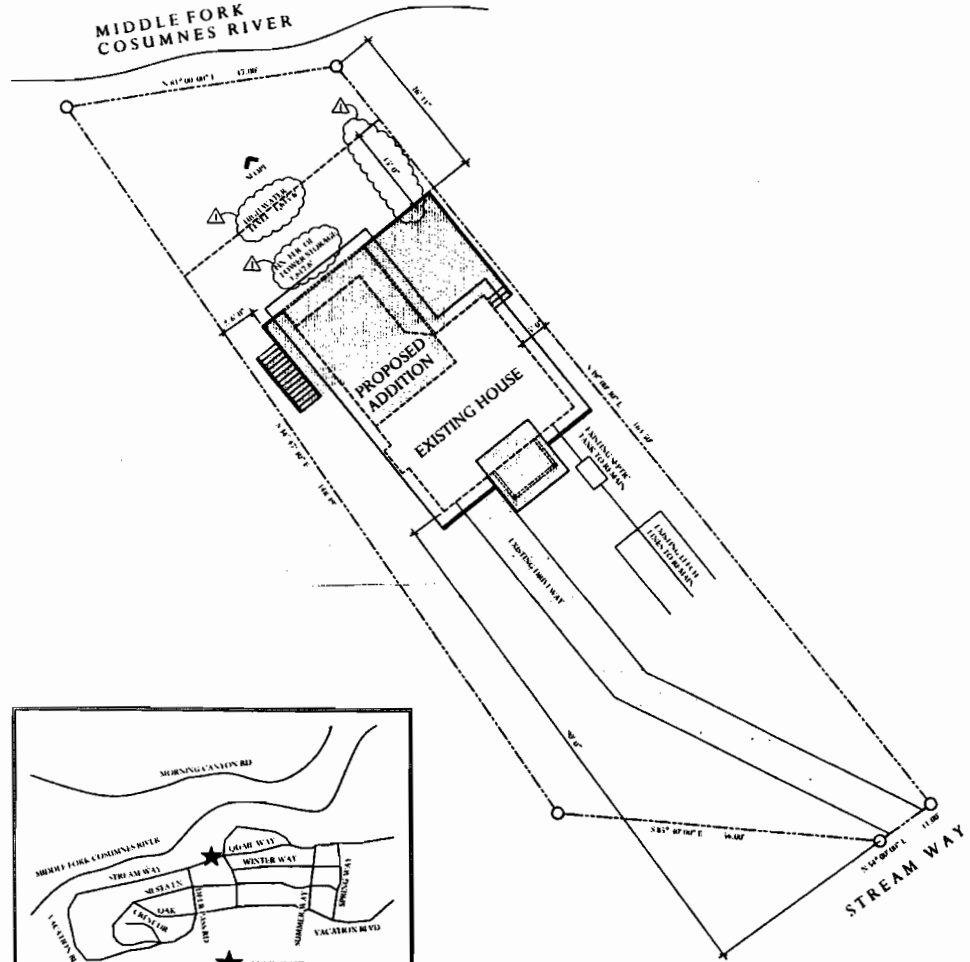
General Plan Land Use Designations



Zoning Designations Map



MIDDLE FORK COSUMNES RIVER



KEY PLAN



SCALE 1" = 80'

Exhibit E

ADDITION AND REMODEL FOR MS. HARRIE WALKER 5667 STREAM WAY OUTINGDALE, CA

SECTION	PLAN OR SECTION	NO.
GENERAL NOTES	1	1
	2	2
	3	3
	4	4
	5	5

GENERAL NOTES

- ON-SITE VERIFICATION OF ALL DIMENSIONS AND DETAILS SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR AND EACH SUBCONTRACTOR FOR THEIR RESPECTIVE WORK. THE OWNER OR DESIGNER SHALL BE NOTIFIED IF ANY DISCREPANCIES ARE FOUND PRIOR TO COMMENCING ANY WORK. THE RESPONSIBILITY FOR WORK COMPLETED WITHOUT PROPER NOTIFICATION SHALL BE THAT OF THE INDIVIDUAL CONTRACTOR INVOLVED.
- THE CONTRACT DOCUMENTS INDICATE THE EXISTENT AND APPROXIMATE LOCATION OF UTILITIES OF THE BUILDING AND SITE. ALL UTILITIES, LOCATIONS, DEPTHS, AND ELEMENTS SHALL BE VERIFIED BY THE CONTRACTOR PRIOR TO COMMENCING WORK.
- ALL WORK IS TO BE IN ACCORDANCE WITH THE CODES AND REGULATIONS WITH ALL STATE AND FEDERAL CODES AND ORDINANCES IN EFFECT AT THE TIME OF CONSTRUCTION.
- NO DAMAGE TO SURROUNDING ADJACENT PROPERTIES.
- PROTECT ALL EXISTING UTILITIES FROM DAMAGE AND LOCATION OF ALL UTILITIES.
- THE TYPICAL DETAILS SHOWN IN THE PLANS SHALL APPLY TO ALL SIMILAR CONDITIONS UNLESS SPECIALLY NOTED OTHERWISE. WORK NOT SHOWN OR SPECIALLY NOTED SHALL BE AN INDICATION OF OTHER SIMILAR WORK AND TO BE ACCORDING TO INDUSTRY PRACTICES.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL CONDITIONS OF INSTALLATION, INSPECTION, AND FINAL APPROVAL OF ALL UTILITIES.
- VERIFY ALL DIMENSIONS, EXISTING CONDITIONS, AND MEASUREMENTS FOR CONSTRUCTION PRIOR TO COMMENCING WORK. NOTIFY DESIGNER IMMEDIATELY.
- IT IS NOT THE INTENT OF THESE DOCUMENTS TO SEPARATE THE WORKS OF MULTIPLE CONTRACTORS. IT SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO COORDINATE AND ENSURE THE WORK IS COMPLETED AS DESCRIBED IN THE WORK DOCUMENTS.
- THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION OF ALL UTILITIES AND DETERMINING THE DEPTH OF UTILITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATION AND PROTECTION OF ALL UTILITIES. THE AREA OF CONSTRUCTION, AND SHALL NOTIFY ALL UTILITIES COMPANIES OF THE WORK AND LOCATION OF ANY UTILITIES.
- GENERAL INSTRUCTIONS:
 - WORKMANSHIP: ALL UTILITIES TO BE REPAIRED, DAMAGED, BROKEN, OR CUT IN THE BEST INTERESTS OF WORK. ALL UTILITIES TO BE REPAIRED TO ORIGINAL CONDITION AND MATERIALS SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE. VERIFY THE DEPTHS AND MATERIALS SHALL BE EQUAL TO THE ORIGINALS. THE ORIGINAL MATERIALS OR METHODS TO BE REPAIRED SHALL BE SUBJECT TO THE APPROVAL OF THE CITY AND INSPECTION.
- THE CONTRACTOR SHALL MAINTAIN A NEAT AND CLEAN WORKING AREA THROUGHOUT THE PROJECT AND SHALL REPORT TO THE DESIGNER IMMEDIATELY ANY DAMAGE TO THE EXISTING BUILDING OR SITE. THE CONTRACTOR SHALL MAINTAIN THE WORK AREA AND PROTECT THE ADJACENT PROPERTIES FROM DAMAGE. THE CONTRACTOR SHALL MAINTAIN A NEAT AND CLEAN WORKING AREA THROUGHOUT THE PROJECT AND SHALL REPORT TO THE DESIGNER IMMEDIATELY ANY DAMAGE TO THE EXISTING BUILDING OR SITE. THE CONTRACTOR SHALL MAINTAIN THE WORK AREA AND PROTECT THE ADJACENT PROPERTIES FROM DAMAGE.
- THE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL UTILITIES AND DETERMINING THE DEPTH OF UTILITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATION AND PROTECTION OF ALL UTILITIES. THE AREA OF CONSTRUCTION, AND SHALL NOTIFY ALL UTILITIES COMPANIES OF THE WORK AND LOCATION OF ANY UTILITIES.
- THE CONTRACTOR SHALL OBTAIN ANY NECESSARY PERMITS FROM THE CITY AND STATE OF CALIFORNIA PRIOR TO COMMENCING CONSTRUCTION. THE CONTRACTOR SHALL MAINTAIN THE WORK AREA AND PROTECT THE ADJACENT PROPERTIES FROM DAMAGE. THE CONTRACTOR SHALL MAINTAIN A NEAT AND CLEAN WORKING AREA THROUGHOUT THE PROJECT AND SHALL REPORT TO THE DESIGNER IMMEDIATELY ANY DAMAGE TO THE EXISTING BUILDING OR SITE. THE CONTRACTOR SHALL MAINTAIN THE WORK AREA AND PROTECT THE ADJACENT PROPERTIES FROM DAMAGE.
- THE CONTRACTOR SHALL OBTAIN ANY NECESSARY PERMITS FROM THE CITY AND STATE OF CALIFORNIA PRIOR TO COMMENCING CONSTRUCTION. THE CONTRACTOR SHALL MAINTAIN THE WORK AREA AND PROTECT THE ADJACENT PROPERTIES FROM DAMAGE. THE CONTRACTOR SHALL MAINTAIN A NEAT AND CLEAN WORKING AREA THROUGHOUT THE PROJECT AND SHALL REPORT TO THE DESIGNER IMMEDIATELY ANY DAMAGE TO THE EXISTING BUILDING OR SITE. THE CONTRACTOR SHALL MAINTAIN THE WORK AREA AND PROTECT THE ADJACENT PROPERTIES FROM DAMAGE.
- THE CONTRACTOR SHALL OBTAIN ANY NECESSARY PERMITS FROM THE CITY AND STATE OF CALIFORNIA PRIOR TO COMMENCING CONSTRUCTION. THE CONTRACTOR SHALL MAINTAIN THE WORK AREA AND PROTECT THE ADJACENT PROPERTIES FROM DAMAGE. THE CONTRACTOR SHALL MAINTAIN A NEAT AND CLEAN WORKING AREA THROUGHOUT THE PROJECT AND SHALL REPORT TO THE DESIGNER IMMEDIATELY ANY DAMAGE TO THE EXISTING BUILDING OR SITE. THE CONTRACTOR SHALL MAINTAIN THE WORK AREA AND PROTECT THE ADJACENT PROPERTIES FROM DAMAGE.
- THE CONTRACTOR SHALL OBTAIN ANY NECESSARY PERMITS FROM THE CITY AND STATE OF CALIFORNIA PRIOR TO COMMENCING CONSTRUCTION. THE CONTRACTOR SHALL MAINTAIN THE WORK AREA AND PROTECT THE ADJACENT PROPERTIES FROM DAMAGE. THE CONTRACTOR SHALL MAINTAIN A NEAT AND CLEAN WORKING AREA THROUGHOUT THE PROJECT AND SHALL REPORT TO THE DESIGNER IMMEDIATELY ANY DAMAGE TO THE EXISTING BUILDING OR SITE. THE CONTRACTOR SHALL MAINTAIN THE WORK AREA AND PROTECT THE ADJACENT PROPERTIES FROM DAMAGE.
- THE CONTRACTOR SHALL OBTAIN ANY NECESSARY PERMITS FROM THE CITY AND STATE OF CALIFORNIA PRIOR TO COMMENCING CONSTRUCTION. THE CONTRACTOR SHALL MAINTAIN THE WORK AREA AND PROTECT THE ADJACENT PROPERTIES FROM DAMAGE. THE CONTRACTOR SHALL MAINTAIN A NEAT AND CLEAN WORKING AREA THROUGHOUT THE PROJECT AND SHALL REPORT TO THE DESIGNER IMMEDIATELY ANY DAMAGE TO THE EXISTING BUILDING OR SITE. THE CONTRACTOR SHALL MAINTAIN THE WORK AREA AND PROTECT THE ADJACENT PROPERTIES FROM DAMAGE.

SHEET INDEX

- 1. PLOT PLAN, GENERAL NOTES, PROJECT DESCRIPTION, BUILDING AREA, AND GENERAL NOTES
- 2. FOUNDATION PLAN AND MECHANICAL/ELECTRICAL PLAN
- 3. NEW FLOOR PLANS
- 4. NEW ROOF PLAN AND NEW ROOF FRAMING PLAN
- 5. EXISTING EXTERIOR ELEVATIONS
- 6. NEW EXTERIOR ELEVATIONS
- 7. NEW ELECTRICAL PLANS
- 8. NEW FOUNDATION PLAN AND NEW ROOF FRAMING PLAN

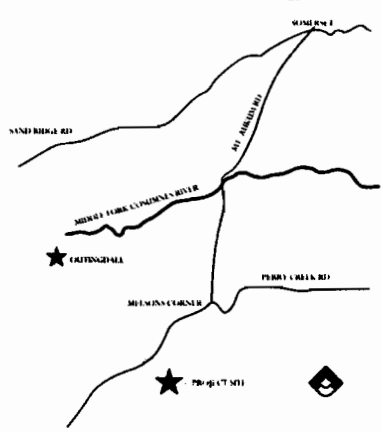
PROJECT DESCRIPTION

LOT NO	25
A.P.N.	006 341 012
5667 STREAM WAY	
OUTINGDALE, CA 94804	
CLIENT NO.	11111
PROJECT TO COMPLETE WITH Dwg NO.	11111
CITY, COUNTY, STATE & ZIP	11111
COUNTY	11111
STATE	11111
ZIP	11111
CITY	11111
CLIENT NAME	11111
CLIENT ADDRESS	11111
CLIENT CITY	11111
CLIENT STATE	11111
CLIENT ZIP	11111

BUILDING AREA

EXISTING FLOOR AREA	667	SQ FT
NEW FLOOR AREA	667	SQ FT
NEW STORAGE	277	SQ FT
NEW PORCH PATIO	111	SQ FT
TOTAL ADDITION	1,077	SQ FT

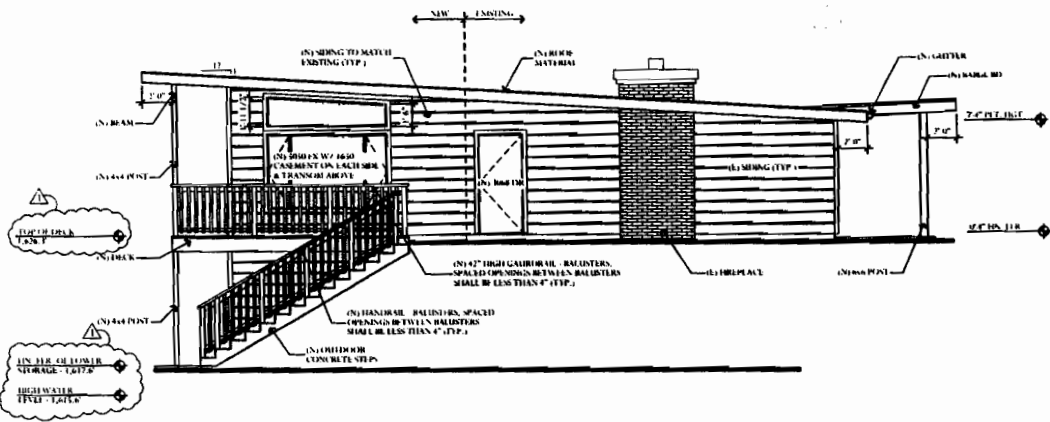
VICINITY MAP



PROJECT PLAN, PROJECT INFORMATION, AND GENERAL NOTES
ADDITION / REMODEL FOR MS. HARRIE WALKER
OUTINGDALE, CA
5667 STREAM WAY

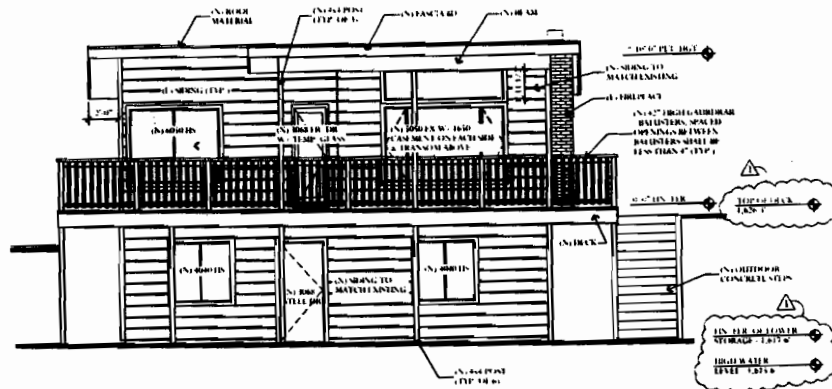
DATE 29 MAY 09
TIME AS NOTED
BY 413-01-09
T

NO.	REVISION	DATE
1	PROPOSED	7/26/10



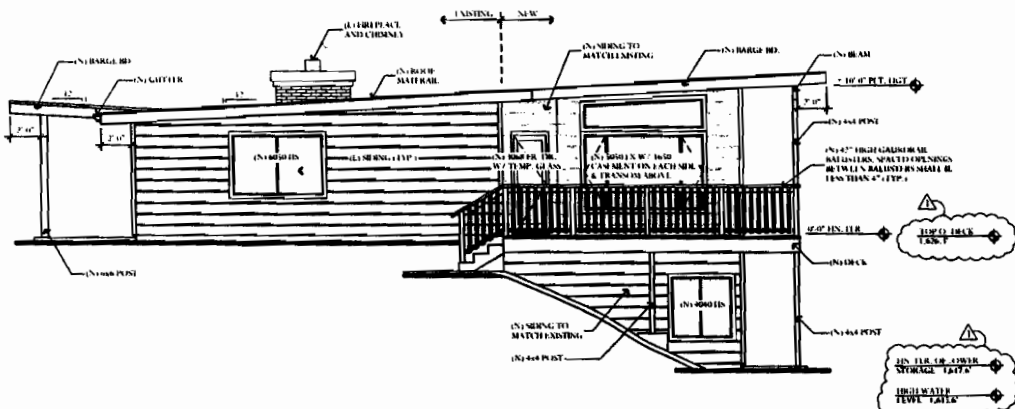
NEW LEFT ELEVATION

SCALE: 1/4\"/>



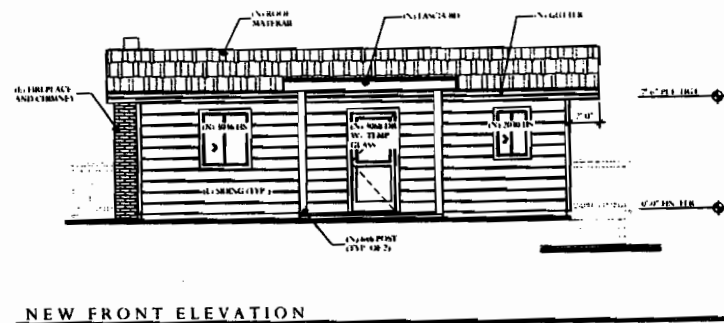
NEW REAR ELEVATION

SCALE: 1/4\"/>



NEW RIGHT ELEVATION

SCALE: 1/4\"/>



NEW FRONT ELEVATION

SCALE: 1/4\"/>

LEGEND	
—	EXISTING TO REMAIN
—	NEW SHOWN
60	EXISTING TO REMAIN
60	EXISTING RELOCATED
60	NEW

NOTE:
CONTRACTOR TO VERIFY ALL EXISTING
CONDITIONS PRIOR TO COMMENCEMENT
OF ANY CONSTRUCTION

NEW ELEVATIONS
ADDITION / REMODEL FOR MS. HARRIE WA
5667 STREAM WAY
OUTINGDALL

DATE: 7 JUN 10
SCALE: 1/4\"/>

PROJECT NO: 443-01-00

A5

Exhibit F



EL DORADO COUNTY PLANNING DEPARTMENT

NOV -2 PM 3:16

VARIANCE SUPPORT INFORMATION

RECEIVED PLANNING DEPARTMENT

The following information must be provided to support your request and assist the Zoning Administrator in making the necessary legal findings to approve the variance. (Attach additional sheets if necessary)

A) There are exceptional or extraordinary circumstances or conditions applying to the land, building, or use referred to in the application, which circumstances or conditions do not apply generally to land, buildings or uses in the vicinity and the same zone, and have not resulted from any act of the owner or applicant;

There is no other place on the property that could provide overhang to shelter the door to my storage area. The property is just not the right size + shape. And having that 4 foot overhang so we can walk on top of it to get on + off the deck without walking through the house is essential. Right now the interior needs to be larger to accommodate me in winter + me + family in summer. There's no space to build outside the existing footprint so it only makes sense to include some of that footprint.

B) The strict application of the provisions of the ordinance requested to be varied would deprive the applicant of the reasonable use of the land or building, allowed for other land in the vicinity and the same zone;

visit me and
Please explain: *I want to be able to have my grandkids + their parents able to use this vacation home that had been in the family since 1954. Right now it's too small even for me in winter, so I need more interior space.*

C) The variance is the minimum necessary for the reasonable use of the land or building;

Please explain: *The building existing footprint will not change. The foot print of existing deck and all stairs also remains the same. The only extension past existing footprint will be a 4 foot roof overhang over the storage room door. This overhang also provide the walkway at deck level so swimmers can go to the deck*

D) The variance is in conformity with the intent of this article and not detrimental to the public health, safety and welfare, or injurious to the neighborhood.

Please explain: *The (overhang) (walkway) only extends 4 ft. beyond the existing footprint, which will not change*

without having to walk through the house with wet suits + sandy feet.

Exhibit G

V 12-0005