

AGENDA

TRI-COUNTY TECHNICAL ADVISORY COMMITTEE

**Friday, November 7, 2008
10:00 A.M.**

KMPUD COMMUNITY SERVICES BUILDING, LOOP ROAD, KIRKWOOD, CA

For further information on any of the agenda items, contact El Dorado County Planning Services at (530)621-5355.

Off-agenda items must be approved by the Tri-County Technical Advisory Committee pursuant to Section 5496.5 of the Government Code.

- A. Correspondence:
- B. Minutes: September 5, 2008
- C. Public matters, information items and persons wishing to address the Committee regarding non-agenda items.
- D. Mitigation Monitoring Update
- E. Public Hearing Items:

ITEM 1: Review of the annual housing audit and report, presented by Kirkwood Mountain Resort

ITEM 2: Discussion and possible recommendation to the Alpine County Planning Commission of an amendment to the existing Caples View Townhomes conditional use permit to allow a ten foot balcony on the front of each building, a walkway deck to access the lower floor of Unit 10, and to remove the designation of the lower floor of Unit 10 as employee housing. APN #006-231-009 through -018. Case File 2008-35.
Applicant: Donald Vaughn

**DRAFT
MINUTES
TRI-COUNTY TECHNICAL ADVISORY COMMITTEE**

September 5, 2008

MEMBERS PRESENT:	Brian Peters	Alpine County
	Peter Maurer	El Dorado County
	Nathan Lishman	Amador County
OTHERS PRESENT:	Zach Wood	Alpine County
	Susan Grijalva	Amador County
	Tom Henie	KMPUD
	Nate Whaley	KMR
	Michael Richter	KMR
	Gary Gallaher	Kirkwood homeowner
	Wayne Amer	Mountain Utilities

The September 5, 2008 meeting was called to order by chair Brian Peters at 10:17 a.m.

A. Correspondence:

None

B. Minutes:

Peter Maurer moved to approve the minutes of August 1, 2008 with corrections regarding Amador County's attendance. Zach Wood seconded the motion which was approved 2-0 with one abstention.

C. Public Matters:

None

D. Mitigation Monitoring Update:

Biological studies were submitted by Michael Richter, KMR. Everything is up to date and nothing showed up in the annual biological report that requires action.

E. Public Hearing Items:

E.1: Review and possible recommendation to the Amador County Planning Commission on a conditional use permit to install a Clean-Burning Micro-Turbine and Heat Recovery Electrical Generation Facility at Mountain

Utilities existing Loop Road Propane Storage and Distribution area (026-270-024).

Applicant: Kirkwood Mountain Resort and Mountain Utilities

Nate Whaley, KMR, introduced Wayne Amer of Mountain Utilities. Mr. Whaley then described the technical details of the project. There are four different turbines, which will run off the existing propane system. Details are provided in the agenda packet. It is clean burning, will allow the diesel plant to be shut down in the summer months, therefore improving air quality. The diesel plant generates more electricity than is needed during the summer months. The project will result in economic as well environmental benefits. The proposed project is a first phase, with the potential to expand in the future. A new use permit would be required for any expansion.

No new propane storage is proposed, but the increase use will mean one additional delivery per week, going from two to three per week. During the wintertime, Mountain Utilities tries to maintain a ten-day supply of propane, with the minimum being six days.

The structure housing the turbines will be similar in design to the KMPUD buildings. The new building will replace an existing, smaller structure and all facilities will be housed within it. Construction is planned to commence as soon as approval is granted by Amador County, with completion anticipated by the end of December.

Tom Henie, KMPUD, stated the district supports the project, and that they are looking at possible wind energy projects in the future. Susan Grijalva indicated the use was consistent with the specific plan, particularly Objective 6.4.1. Brian Peters stated that with all of the facilities located in the building, any noise shouldn't be a problem for the employee housing nearby. Mr. Amer indicated that the decibel level of the turbines is 67 dB at six feet. They are much quieter than the existing diesel generators. The only exterior noise will be from the vent fan needed to keep the equipment cool. Gary Gallaher asked about the heat recovery aspect of the system. Mr. Amer responded that the captured heat drives a separate turbine for additional power generation. The system is 50% more efficient than diesel generators.

Peter Maurer moved that a recommendation to approve the use permit be forwarded to the Amador County Planning Commission, subject to completion of appropriate CEQA documents, finding that the project is consistent with specific plan Objective 6.4.1 and the land use designation of the plan. The motion was seconded by Nathan Lishman and carried 3-0.

E.2: Discussion and possible recommendation to the respective Planning Commissions for each County of an Air Quality/Solid Fuel Burning Device Ordinance establishing a fee and incentive program to reduce particulate matter emissions from solid fuel burning devices in Kirkwood.

Applicant: Amador, Alpine, and El Dorado Counties

The revised draft ordinance was circulated by Alpine County staff three days prior to the meeting. Susan Grijalva suggested additional minor edits, and suggested that “residential” be added before “development project” in Sec. 6.B. She also suggested that an exception be provided in Sec. 9 so that the fee applies to any new devices added. Nathan Lishman moved to recommend adoption of the ordinance as amended during the hearing. Peter Maurer seconded the motion which carried 3-0.

E.3: Discussion and possible recommendation to the respective Planning Commissions for each County of an Erosion Control Ordinance applicable to Kirkwood.

Applicant: Amador, Alpine, and El Dorado Counties

This item was continued off-calendar until such time as comments can be received from the Counties’ public works departments.

E.4: Discussion and possible recommendation to the Alpine County Planning Commission of an amendment to the Expedition Lodge conditional use permit to change the total number of residential units from 22 to 35 and hotel style units from three to one. The the original sub-basement storage areas will be eliminated and the designation of the proposed wine bar will change from common area to commercial (APN: 006-010-085).

Applicant: Kirkwood Mountain Resort

Nate Whaley described the project modifications. It was originally approved in 2006, and the foundation poured in the summer of 2007. The exterior of the building remains the same except the windows. Unit size has been shrunk to accommodate more units in the same footprint (79 to 90 units.) Employee housing will be provided in Renwick. Parking meets the parking requirements. An additional 18 spaces will be provided off-site to accommodate the increase.

Susan Grijalva stated that a revised parking audit and map will be needed for monitoring purposes, but this can be provided after project approval. Brian Peters agreed that the only issues are verification of parking and employee housing requirements.

Peter Maurer moved to recommend approval to the Alpine County Planning Commission of the proposal, subject to providing the necessary documentation demonstrating compliance with the parking and employee housing requirements of the specific plan, and to comply with whatever Subdivision Map Act requirements there are, in coordination with the County Surveyor, concerning revisions to a condominium map increasing the number of units. The motion was seconded by Nathan Lishman and passed unanimously.

E.5: Discussion and possible recommendation to the Alpine County Technical Advisory Committee of a tentative parcel map to split an existing duplex at 803 Cornice Court into two parcels (APN: 006-181-003).

Applicant: Sue Mace

Brian Peters indicated that the Alpine County Technical Advisory Committee (TAC) has the authority to take action on this type of project. Zach Wood described the project, which is currently under construction. Susan Grijalva asked if the construction met the separation requirements. She thought that it probably would, but that needs to be verified. Mr. Peters stated that there needs to be sufficient easements for access and utilities.

Nathan Lishman moved to recommend to Alpine County TAC approval of the map, subject to providing adequate access and utility easements. The motion was seconded by Peter Maurer and carried 3-0

The meeting was adjourned at 11:40 a.m.

The next Tri-County Technical Advisory Committee meeting will be held on October 3, 2008.

ITEM 1

September 16, 2008

VIA EMAIL (nlishman@co.amador.ca.us)



Mr. Nathan Lishman
Planner
Amador County Planning Department
810 Court Street
Jackson, California 95642

Subject: **2007/2008 Workforce Housing Audit**

Dear Nate:

This annual summary of employee housing is provided to the Tri-County Technical Advisory Committee pursuant to the requirements of the 2003 Specific Plan and as documentation of compliance and status of Amador County Conditions of Approval #154 and #155. The annual housing report for the previous season ending April 30 identifies the average peak season full-time equivalent (FTE) employees and the inventory of on and off site housing for the previous and upcoming season. The format for this reporting is consistent with the "checkbook" methodology of the allocated and proposed deed restrictions required since the first employee housing requirement was adopted in 1981 and remaining unallocated credits in each of the existing employee housing as developed in coordination with TC-TAC and Amador County Planning following the 2006/2007 audit.

CURRENT STATUS

The attached Table 1 illustrates that an average of approximately 422 FTE were employed in the Kirkwood Valley during the 2007/2008 season (including KMR, KMPUD, KCA, and other valley employers). The overall resort employee housing requirement calls for providing housing to 30% of the average FTE or 127 employees. As shown in Table 2, last season housing for 203 employees was provided in Valley. This number exceeds the requirement under the Specific Plan Ordinance by 76 employees.

The 203 employees were housed in 175 units of employer-owned housing (Red Cliffs, Renwick, Youth Hostel, Lava Rock, and Cross-Country), 6 in-project deed-restricted units (Meadowstone), and 22 units of various employee-owned, resort-leased, and caretaker units around the valley.

Employers made housing available at rates of \$220 to approximately \$800 per month including utilities. KMR's most expensive housing was \$440 per month. This represents a substantial discount to regional market rates and a significant subsidy of both operating and capital expenses. Peak occupancy of ~95% occurred during the Christmas Holiday, as new employees arrived, though average winter occupancy was approximately 80-85% and year round occupancy is less than 30%.

All subsidized employee housing was provided in-valley, though KMR continues to offer a substantial carpool incentive program in addition to operating a shuttle system from both South Lake Tahoe and Minden/Gardenerville that transports between 80 employees per day midweek and 150 employees per day on the weekends.

PROJECTED DEVELOPMENT

We expect the employee counts and housing inventory to remain essentially unchanged for the coming ski season.

ANALYSIS

The attached table shows that 372 units of completed development in Kirkwood have required 72.9 units of deed restricted employee housing under the various employee housing ordinances first adopted in 1981. This excludes multifamily built before 1981, 141 single family lots approved prior to 2003 and 16 dwelling units in the Youth Hostel and Lava Rock Lodge projects built as employee housing.

Additionally, 182 development units have been proposed or approved but are not yet completed including 70 single family units in Palisades VI, Martin Point, and Village East and 112 multi-family units in Caples View, Expedition Lodge, and Thunder Mountain Lodge. These units are pending formal designation of the required employee housing.

Together the 554 completed and proposed units (372 + 182) have resulted in a requirement for 122.2 units of deed-restricted employee housing. The attached table has allocated all 122.2 units to employer owned employee housing, however formal arrangements between various third party developers have not been finalized and it is possible that the final designation may ultimately change prior to project completion. The 122.2 employees housed under the ordinance are approximately 80 lower than the 203 employees currently housed in Kirkwood under the Ordinance and approximately 52 units lower than the 175 bedroom units of "employer owned" housing stock currently available in Red Cliffs, Renwick, Youth Hostel, Lava Rock Lodge, and the Cross Country Center.

The attached "checkbook" demonstrates that KMR still has 58.8 units remaining for future project allocations assuming that all proposed/approved projects satisfy their requirement with existing KMR stock. (The table shows only 57.8 due to rounding in anticipation of aggregating requirements with other current developments, thus this will be covered via future allocations.)

The resulting complete accounting of the deed restriction requirements since 1981 demonstrates that there is an excess of qualified employee housing credits that can be allocated to meet future developer requirements. That said, future employee growth to the aggressive 1,135 employee count in the Specific Plan, would require approximately 25 additional "units" of employee housing before build-out to meet the Overall Resort

Requirement relative to 175 employer-owned units available today. As we have discussed previously, these remaining units should target the more costly private and multifamily apartment style housing at the supervisor/manager level of the cross-section of available product – perhaps using the KMPUD’s facility as the proper model for future construction, by either KMPUD or KMR.

Though we have discussed a potential revision to the Employee Housing Ordinance, the current practice of transferring deed restrictions to built employer-owned housing stock provides appropriate incentives required to subsidize the development of necessary new stock while also upgrading existing apartment and dormitory stock. These transfers are done under Sections 3.A and 3.A.1 of the current employee housing ordinance which states that “Credit for providing on site employee housing shall be granted as follows...employee units in existence as of the date of adoption of this ordinance...”. As all 175 units in Youth Hostel, Renwick, Red Cliffs and the Cross Country Center were built and used as employee housing well before the adoption of the current ordinance, credit must be granted for all units rather than applying Section 3.A.2 (New Employee Housing).

We will continue to provide and adjust allocations as future development requires, both via the individual project approval and updating this checkbook annually via the Employee Housing Audit process. I expect that you will place this on the October TC-TAC agenda for formal review and acceptance. Please contact me at (209)258-7291 if you have any questions.

Sincerely,



Nate Whaley
Vice President, Real Estate Development

copy: Brian Peters, Alpine County Planning (brian@pd.alpinecountyca.com)
Susan Grijalva, Amador County Planning (sgrijalva@co.amador.ca.us)
Peter Maurer, Ed Dorado County Planning Services (pmaurer@co.el-dorado.ca.us)
Dave Likins, Kirkwood Mountain Resort (dlikins@kirkwood.com)
Michael Richter, Kirkwood Mountain Resort (mrichter@kirkwood.com)

Table 1
Kirkwood Mountain Resort
Employment Summary
2007-2008 Season

Pay Period Ending	Full Time Employees (>32hrs/wk)	Part Time Employees (16-32hrs/wk)	Occasional Employees (<16hrs/wk)	Total Gross Employees	KMR FTE			Total FTE
					per Employee Housing Ordinance	KMPUD FTE	Other FTE	
10/6/2007	119	32	10	161				
10/20/2007	135	19	21	175				
11/3/2007	165	17	31	213				
11/17/2007	149	43	27	219				
12/1/2007	173	60	48	281	203	16	17	236
12/15/2007	196	95	96	387	244	16	17	277
12/29/2007	324	140	106	570	394	16	17	427
1/12/2008	368	196	124	688	466	16	17	499
1/26/2008	425	170	108	703	510	16	17	543
2/9/2008	311	230	132	673	426	16	17	459
2/23/2008	402	200	87	689	502	16	17	535
3/8/2008	311	192	115	618	407	16	17	440
3/22/2008	287	132	97	516	353	16	17	386
4/5/2008	267	95	67	429				
4/19/2008	185	60	23	268				
5/3/2008	77	27	3	107				
Average	311	157	101	569	389	16	17	422
WFH Requirement		30%						127

Table 2
Kirkwood Mountain Resort
Employee Housing Inventory

Location	Total Units	Bedrooms (MF Only)	Employees Housed	Deed Restrictions Required	Renwick			Red Cliffs			Youth Hostel			Lava Rock			Cross Country			In-Project			Total	Balance
					Formal	Restrictions	Committed	Deemed	Restricted	Proposed	Total	Formal	Restrictions	Committed	Deemed	Restricted	Proposed	Total	Formal	Restrictions	Committed	Deemed		
Development Under 1972 Plan																								
West Meadows	176	-	9	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-
Base Camp	48	77	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-
Edelweiss	24	36	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-
Thimblewood	12	19	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-
Red Cliffs	12	48	96	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-
Renwick	24	36	36	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-
Cross Country Center	2	3	3	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-
Subtotal	298	219	144	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-
Development Under 1981 Plan																								
Whiskey Towers	15	29	1	2.9	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-
Sun Meadows	66	101	3	10.1	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-
The Meadows	66	75	3	7.5	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-
Subtotal	147	205	7	20.5	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-
Development Under 1988 Plan & Ordinance																								
East Meadows	113	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-
Juniper Ridge	28	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-
Lost Cabin	16	39	4	3.9	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-
Mountain Club	40	46	-	4.6	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-
Snowcrest	30	57	-	5.7	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-
The Lodge at Kirkwood	19	31	2	3.1	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-
Sentinals	10	26	-	2.6	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-
Youth Hostel	8	28	28	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-
Subtotal	264	227	34	19.9	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-
Development Under 2003 Plan & Ordinance (Completed)																								
Palisades III-V	31	-	-	10.3	8.0	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-
Timber Ridge	28	84	-	8.4	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-
Meadowstone	33	87	6	8.7	4.0	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-
Sentinals West	18	51	-	5.1	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-
Lava Rock Lodge	8	12	12	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-
Subtotal	118	234	18	32.5	12.0	5.1	17.1	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-
Subtotal	827	885	203	72.9	12.0	5.1	17.1	20.5	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-
Development Under 2003 Plan & Ordinance (Approved)																								
Palisades VI	21	-	-	7.0	7.0	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-
Marlin Point	35	-	-	11.7	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-
East Village Single Family	14	-	-	4.7	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-
Caples View	10	20	-	2.0	2.0	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-
Expedition Lodge I	35	91	-	9.1	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-
Thunder Mountain Lodge	67	148	-	14.8	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-
Subtotal	182	259	-	49.2	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-
Subtotal	1,009	1,144	203	122.2	12.0	22.0	34.0	20.5	16.9	14.8	52.2	16.0	16.0	12.0	12.0	3.0	3.0	6.0	6.0	36.5	33.0	38.9	14.8	123.2
Maximum / Capacity	1,413				36.0				96.0	28.0				12.0	3.0									
Remaining "Permanent"	404				2.0				43.8	12.0														

Note: The employee housing requirement for Timber Ridge was originally satisfied "in-project" in Meadowstone

ITEM 2

DONALD K. VAUGHN

605 GARCIA ROAD

ATASCADERO, CA 93422

Phone: (805) 540-7007 Fax: 540-7008

Email: donvaughn@charter.net

August 12, 2008

Alpine County Building Department

Attn: Randy Gibson

17300 State Rt. 89

Markleeville, CA 96120

Re: Caples View Buildings / Kirkwood

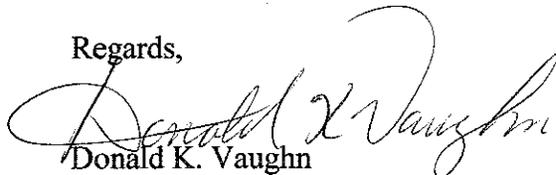
Dear Mr. Gibson,

Enclosed are 3 copies of the front deck design for the Alpine Country Building Department consideration. I have also submitted the same plans to the Kirkwood Community Association.

Please be advised that the structural design shows a maximum 12 foot deck. We elected to structurally maximize the size of the deck for 12 feet with the likely event that the true size will vary between 8 to 10 feet. In other words the smaller decks will be more structurally sound but will look exactly the same except for size. The reason is that we are unsure at this time what deck "footprint" will actually be allowed by Alpine Public Works. In the interest of time, this approach seems to be the most workable until Public Works gives their approval.

It is my understanding that the concrete walkway to the "employee unit" has been approved, but no railing design was approved. It is also our intention that the concrete walkway to the "employee unit" on Unit 10 shall have the same type of railing with the same Cobble Field Desert Blend facade on the concrete wall facing Kirkwood Meadows Drive. Please advise if this is not correct.

Regards,


Donald K. Vaughn

RECEIVED

AUG 18 2008

ALPINE COUNTY
BUILDING

SET 3 @ PLANNING

DONALD K. VAUGHN

**605 GARCIA ROAD
ATASCADERO, CA 93422
PH (805) 540-7007 Fax 540-7008
Email: donvaughn@countryfinancialinc.com**

October 1, 2008

Alpine County Planning Department
Attn: Zach Wood
17300 State Route 89
Markleeville, CA 96120

RE: Alta Serra, Kirkwood

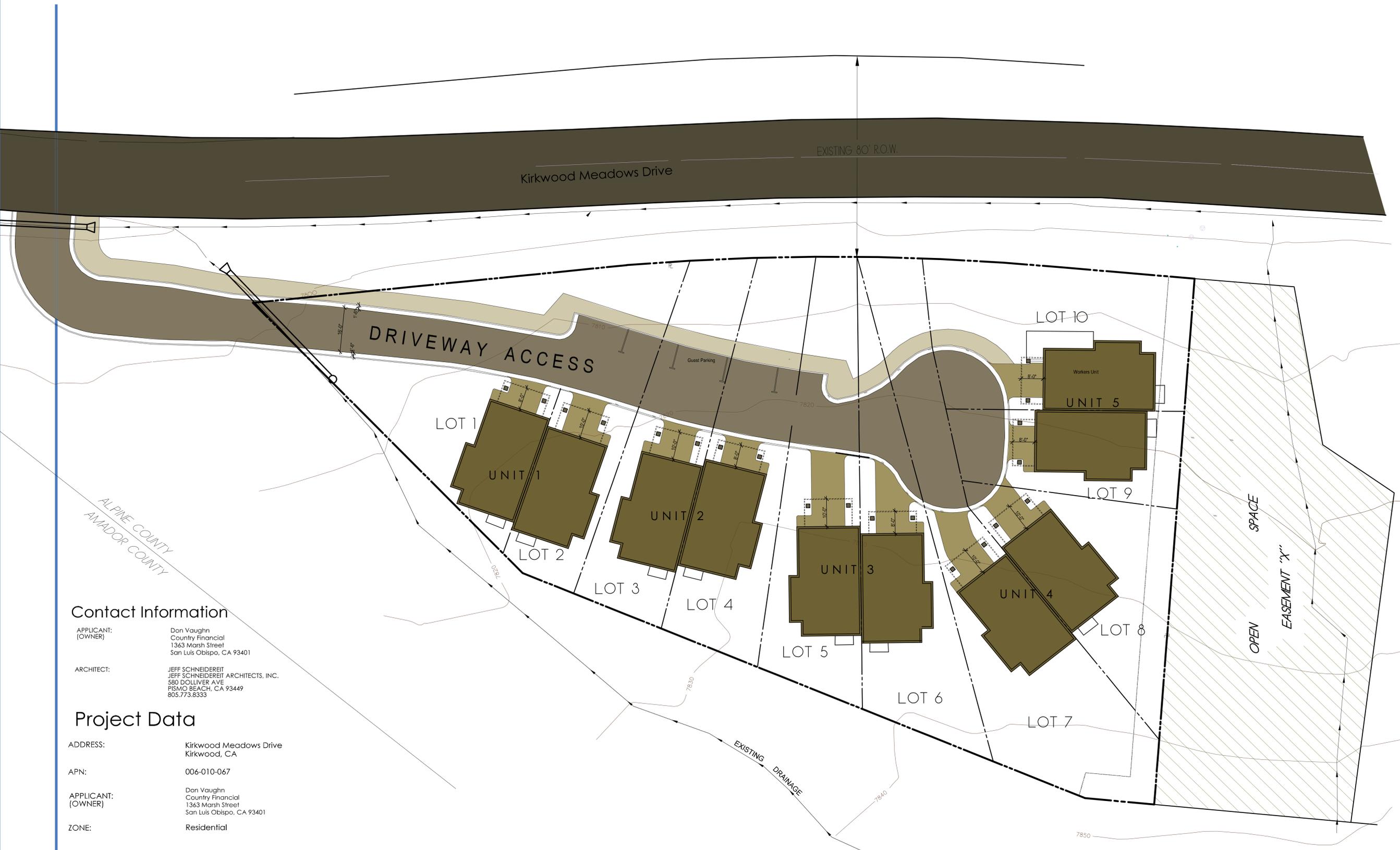
Dear Mr. Wood,

Tom Erskine and I on occasion have discussed with you the situation of the so called "employee's unit" that has been built and is almost completed at the lower level of Lot 10 of this subject development.

Fred Machado, the lead developer of the project, has been foreclosed upon. The new owners have inherited this situation which currently is described as follows: The unit is a one bedroom, one bath of approximately 450 square feet. The entrance is from an outside doorway on the left side of Unit 10. There are no separate utility meters to this area. In other words, all utilities are joined with the entire living space of Lot 10. So this "additional living space" increases the living space of Lot 10, which is a 2 bedroom unit, from approximately 2000 square feet to an approximate 2450 square feet, 3 bedroom with a an additional small kitchen and bathroom. As mentioned above, this area has its own entrance.

This is the situation the new owners have to work with. Currently, in preliminary discussion with Kirkwood Mountain Resorts we are under the impression that at a minimum this project would be required to purchase employee housing from the Resort. Please advise us as to what steps, if any, need to be addressed from County Planning as soon as possible.


Don Vaughn



Contact Information

APPLICANT: Don Vaughn
 (OWNER) Country Financial
 1363 Marsh Street
 San Luis Obispo, CA 93401

ARCHITECT: JEFF SCHNEIDERREIT
 JEFF SCHNEIDERREIT ARCHITECTS, INC.
 580 DOLLIVER AVE
 PISMO BEACH, CA 93449
 805.773.8333

Project Data

ADDRESS: Kirkwood Meadows Drive
 Kirkwood, CA

APN: 006-010-067

APPLICANT: Don Vaughn
 (OWNER) Country Financial
 1363 Marsh Street
 San Luis Obispo, CA 93401

ZONE: Residential

LOT AREA:	Lot 1:	7311 s.f.
	Lot 2:	4018 s.f.
	Lot 3:	4381 s.f.
	Lot 4:	4793 s.f.
	Lot 5:	4861 s.f.
	Lot 6:	4456 s.f.
	Lot 7:	6954 s.f.
	Lot 8:	4063 s.f.
	Lot 9:	2898 s.f.
	Lot 10:	5540 s.f.

(E) BLD'G HEIGHT: 25'-0" +/-

(P) Raised Deck Area: 195 s.f. Max

(E) Residence Area (per Unit)
 Main Floor (living): 1110 s.f.
 Upper Floor (Living): 735 s.f.
 Garage: 575 s.f.

Site Plan

SCALE: 1/16" = 1'-0"

Vila Alta Serra
 Kirkwood Meadows
 Kirkwood, CA 95646
 Site Plan Exhibit

Revisions:

Job Number: 0630
 DATE: 10/15/2008
 Scale: as indicated

SP-1

SHEET _ OF _



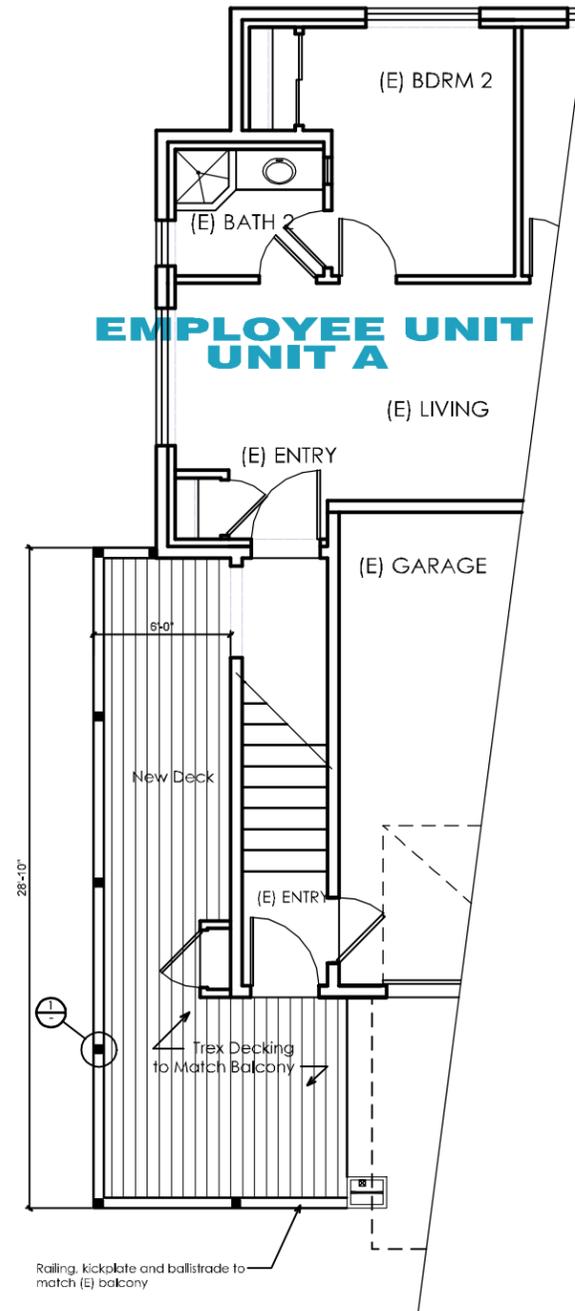
Site Plan
 SCALE: 1" = 80'-0"



Entry Elevation

- Existing Balcony to Match
- 2x4 Bottom Rail
- 4x4 Posts
- 2x6 Trex Decking "Sedona" Blend
- 2x6 Hand Rail
- 2x4 Top Rail w/ 1x4 Top Rail Trim per Detail 5/A-2
- 2x2 Balusters
- Balusters shall be placed such that a 4" dia sphere cannot pass thru

EMPLOYEE UNIT UNIT A



- APPLICABLE BUILDING CODES:
- 2007 California Building Code
 - 2007 California Administrative code
 - 2007 California Electrical Code
 - 2007 California Plumbing Code
 - 2007 California Energy Code
 - 2007 California Fire Code
 - All Local Codes

Sheet Index

Sheet	Description	
1	Title Sheet / Color Board / Site Plan	1/2
2	Deck Plans and Details	2/2
Total Sheets:		2

Scope of Work:

Addition of a deck to existing Condo building

Contact Information

APPLICANT: Don Vaughn
 (OWNER) Country Financial
 1363 Marsh Street
 San Luis Obispo, CA 93401

ARCHITECT: JEFF SCHNEIDERREIT
 ARCHITECTS, INC.
 580 DOLLIVER AVE
 PISMO BEACH, CA 93449
 805.773.8333

Project Data

ADDRESS: Kirkwood Meadows Drive
 Kirkwood, CA

APN: 006-010-067

APPLICANT: Don Vaughn
 (OWNER) Country Financial
 1363 Marsh Street
 San Luis Obispo, CA 93401

ZONE: Residential

PROJECT DESCRIPTION: Addition of exterior, non covered deck

LOT AREA: Lot 10: 5540 s.f.

(E) BLD'G HEIGHT: 25'-0" +/-

(F) Raised Deck Area: 214 s.f.

(E) Residence Area (per Unit)
 Main Floor (Living): 1110 s.f.
 Upper Floor (Living): 735 s.f.
 Garage: 575 s.f.

LOT COVERAGE:
 1110 + 575 + 214 = 1899 s.f./5540 = 0.34
 0.34 x 100% = 34% Lot Coverage



Front Elevation

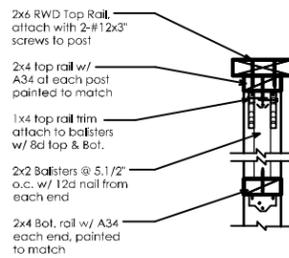
Building Elevations
 SCALE: 1/8" = 1'-0"

- Trim Color SW6994 "Greentack"
- Stain/Trim SW6109 "Hopack"

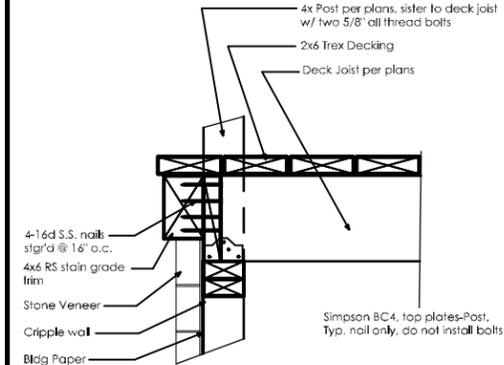
Revisions:

Job Number: 0830
 DATE: 10/7/2008
 Scale: as indicated

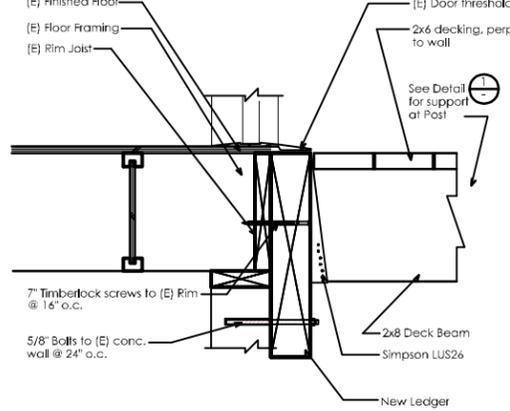
Vila Alta Serra
 Kirkwood Meadows
 Kirkwood, CA 95646
 Deck Addition, Unit 5



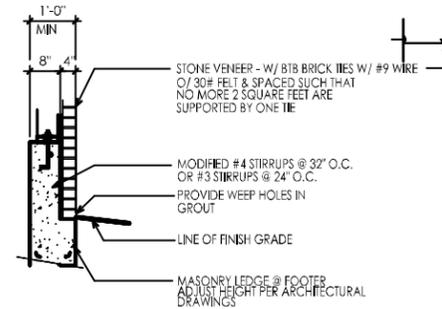
1 Porch railing and post
1.1/2" = 1'-0"



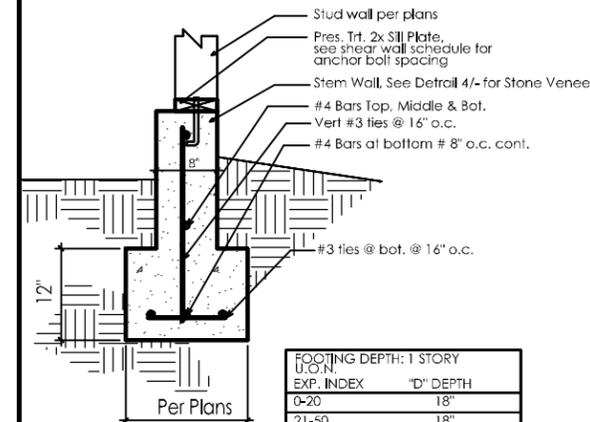
2 Deck Joists at Cripple Wall
1.1/2" = 1'-0"



3 Porch beams at Wall
1.1/2" = 1'-0"

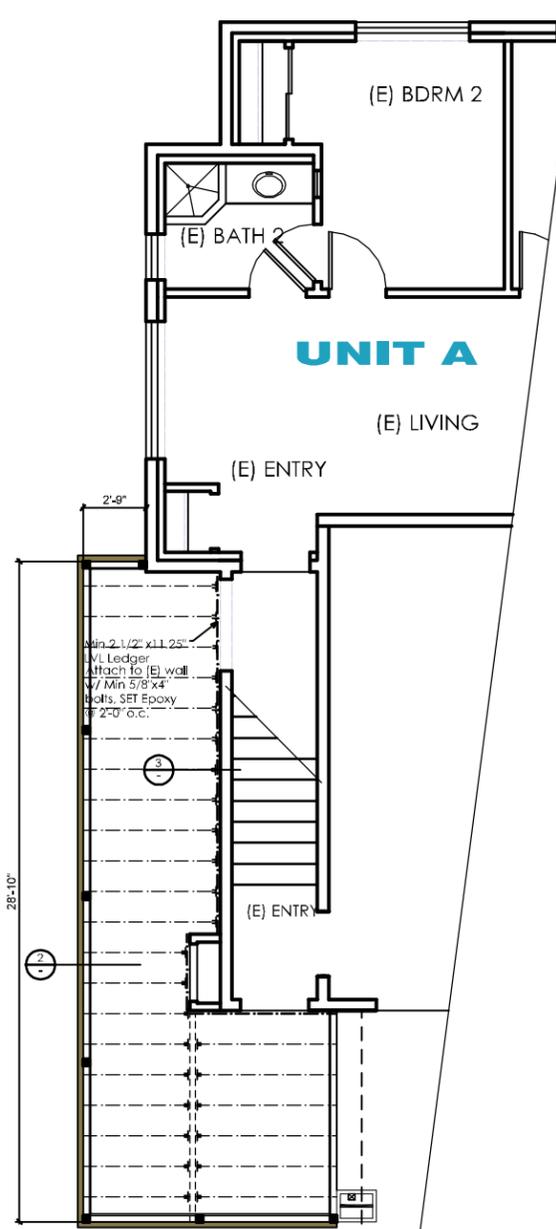


4 STONE LEDGE @ STEM WALL

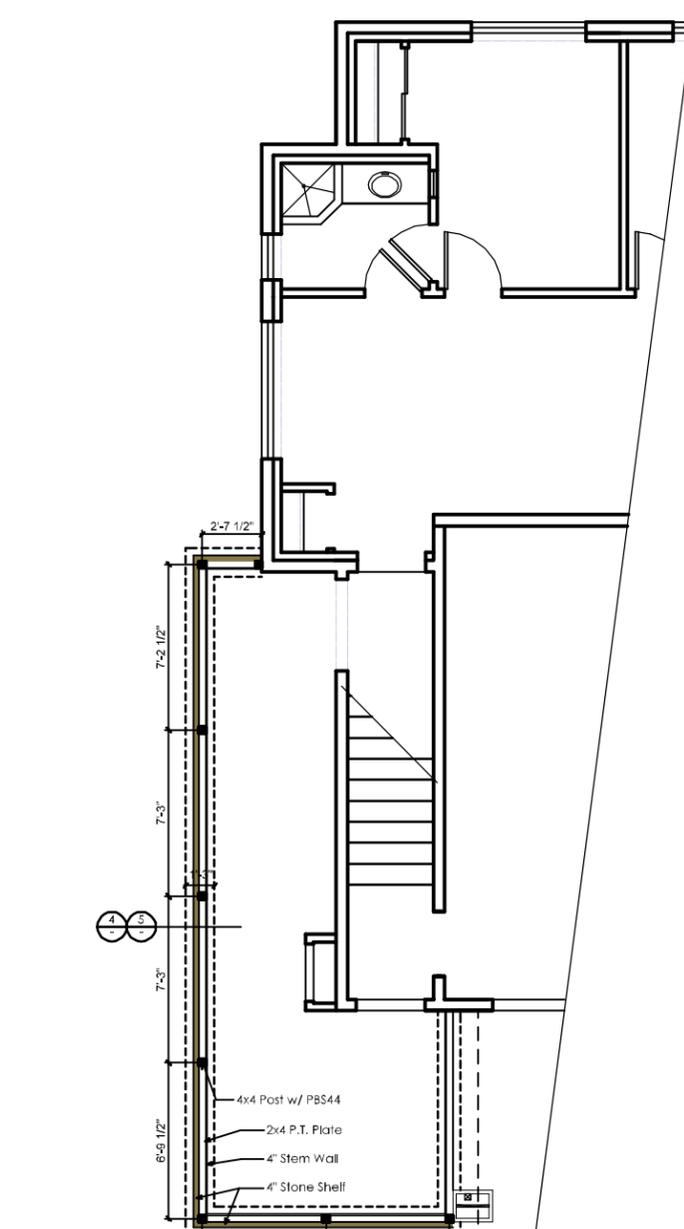


5 TYPICAL FOOTING
1" = 1'-0"

FOOTING DEPTH: 1 STORY U.O.N.	
EXP. INDEX	"D" DEPTH
0-20	18"
21-50	18"
51-90	21"
91-131	27"
OVER 130 PER SPECIAL DETAIL	



Deck Framing Plan



Deck Foundation plan

General Notes

THIS SET OF WORKING DRAWINGS IS A DESIGN SCHEMATIC ONLY, INTENDED TO BE INTERPRETED BY A COMPETENT AND KNOWLEDGEABLE CONTRACTOR. ANY BUILDER USING THESE DRAWINGS TAKES FULL RESPONSIBILITY FOR THE RESULTS OF ANY ACTION TAKEN BASED UPON THE INFORMATION PROVIDED HEREIN.

OWNERSHIP & USE OF DOCUMENTS:
All drawings, specifications and their content, and copies thereof furnished by Jeffrey Schneiderei Architects are and shall remain the property of the Architect. They are to be used only with respect to this project and shall not be used by any persons on other projects, or extensions to this project without express written agreement with and appropriate compensation. These drawings are protected by common law copyright.

- GENERAL: These notes shall apply to all drawings unless otherwise noted or shown. Features of construction shown are typical and shall apply generally throughout similar conditions. Unless otherwise noted, all closets, recesses, columns, projections or other adjacent areas of work within the scheduled areas shall have finishes as scheduled for the respective spaces in which they occur. All omissions or conflicts between the various elements of the working drawings and/or general notes shall be brought to the attention of the architect prior to proceeding with the work involved.
- EXAMINATION OF SITE: The Contractor shall thoroughly examine the site and satisfy him/herself as to the conditions under which the work is to be performed. The Contractor shall verify at the site all measurements affecting the work, and shall be responsible for the correctness of the same. No extra expense shall be allowed to the Contractor for expenses due to his neglect to examine, or failure to discover, conditions which affect the work.
- GENERAL OPERATIONS: The Contractor shall, after consulting with the Owner, schedule the work so as not to interfere unduly with neighbors, etc. Contractor shall delay dust by approved means and minimize noise as much as practical. In no case shall the work interfere with existing streets, drives, walks, passageways, neighbor's property, improvements and the like. Protect all in-place construction in connection with the work. Particular attention is directed to, but not limited to, such items as street improvements, curbs and gutters, rough grading lines, etc.
- CONTRACTOR USE OF PREMISES:
 - Confine operations of the site to areas permitted by law, ordinances, permits and these Contract Documents. Do not unreasonably encumber premises with materials or equipment.
 - Assume all responsibility for protection and safekeeping of products stored on the premises. Move any stored products which interfere with operations of the City or other contractor. Obtain and pay for use of additional storage or work area required for operations.
- LIMITS OF WORK: Work zone limits are established on the drawings. All Contractors, Subcontractors and Tradesmen shall coordinate their work with one another within the established limits.
- CHANGES: Any proposed changes in the construction shall be reviewed by the architect and shall be approved by the Building Official, Owner, Contractor and the Architect.
- The Contract Documents, including working drawings, specifications and schedules, represent the finished structure. Unless otherwise noted, Contractor shall supervise and direct work and shall be solely responsible for all construction means, methods, techniques, sequences and procedures. Observation visits by the architect shall not include inspections of protective measures or the construction procedures required for same, which are the sole responsibility of the Contractor.
- SEQUENCE OF WORK: In the event any special sequencing of the work is required by the Owner, the Contractor shall arrange a conference before any such work is begun. Contractor shall be responsible and liable for deviations from schedule unless delays are the result of failure of the Owner to oblige by the contract or by acts of nature or God.

Place orders for material and equipment immediately on receipt of contract and follow up vigorously to insure adequate and timely supply of work. Perform all tracing and expediting actions and arrange to get workmen and subcontractors on job at proper time and avoid delays.
- MEASUREMENTS: Contractor shall verify all dimensions shown on drawings by taking field measurements; proper fit and attachment of all parts is required. Before commencing work, check all lines and levels indicated and such other work as has been properly completed. Should there be any discrepancies, immediately report in writing to the Architect for correction or adjustment prior to the commencement of any related work. In the event of the Contractor's failure to do so, the Contractor shall be fully and solely responsible for the correction or adjustment of any such related work or errors.
- All dimensions take precedence over scale. All dimensions are to face of stud, unless otherwise noted. THE CONTRACTOR SHALL NOT SCALE DRAWINGS.
- RULES AND REGULATIONS: All work and materials shall be in accordance with the latest rules and regulations of the National Board of Underwriters, the latest editions of the National Electrical Code, the National Plumbing Code, latest adopted edition of the Uniform Building Code, all State Title 24 & A.B. 163 Energy Regulations, and all applicable Local and State Laws and Ordinances. Nothing on the drawings shall be construed to permit work not conforming to these codes.
- CONSTRUCTION QUALITY: The Contractor shall complete all work in a good workmanlike manner at a level or quality or tolerance consistent with the standards of the construction industry.
- NOTES: All plan notes imply the words "The Contractor shall..." or "The Contractor shall install..."
- All Conditions not specifically detailed on drawings shall be similar to those shown, or those detail existing in the field as occur.
- Anyone supplying labor and/or materials to the project shall carefully examine all sub-surfaces to receive work. Any conditions detrimental to the work shall be reported in writing to the Contractor prior to beginning work. Commencement of work shall imply acceptance of all sub-surfaces.
- COOPERATION
 - Contractor and subcontractors shall coordinate their work with adjacent work and cooperate with other trades so as to facilitate general progress of the work. Each trade shall afford other trades every reasonable opportunity for installation of their work and for storage of their materials.
 - Inasmuch as building completion within the time limit is dependent upon cooperation of those engaged therein, it is required that each contractor lay out and install his work at time and manner not to delay or interfere with carrying forward other contractor's work.
- THIS SET OF PLANS TO BE ON JOB SITE AT ALL TIMES DURING CONSTRUCTION. ALL WORK SHALL BE IN ACCORDANCE WITH THE APPROVED PLANS. NO CHANGES OR REVISIONS TO THE APPROVED PLANS OR SPECIFICATIONS SHALL BE PERMITTED UNLESS SUBMITTED TO AND APPROVED BY THE BUILDING DEPARTMENT. THE ISSUANCE OF A PERMIT SHALL NOT PREVENT THE BUILDING DEPARTMENT FROM REQUIRING THE CORRECTION OF ERRORS OR OMISSIONS FROM THE APPROVED PLANS AND SPECIFICATIONS.
- THE ISSUANCE OR GRANTING OF A PERMIT OR APPROVAL OF PLANS SPECIFIC TO THIS PROJECT SHALL NOT BE CONSIDERED TO BE A PERMIT FOR, OR AN APPROVAL OF, ANY VIOLATION OF ANY OF THE CODES OR OF ANY OTHER ORDINANCE OF THIS JURISDICTION. PERMITS PRESUMING TO GIVE AUTHORITY TO VIOLATE OR CHANGE THE PROVISIONS OF THIS CODE OR OTHER ORDINANCES OF THIS JURISDICTION SHALL NOT BE VALID. [UBC 106.4.3]
- SITE ADDRESS IS TO BE CLEARLY MARKED IN FIELD IN SUCH A POSITION AS TO BE PLAINLY VISIBLE AND LEGIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY.