

AGENDA

TRI-COUNTY TECHNICAL ADVISORY COMMITTEE

Friday August 7, 2015*
10:00 a.m.

KMPUD Community Services Building, Loop Road, Kirkwood, CA

*NOTE: During the winter months, please check with the Alpine County Planning Department at 530-694-2140 to make sure the meeting has not been canceled due to inclement weather!

For further information on any of the agenda items, please contact El Dorado County Planning Department at (530) 621-5355.

Off-agenda items must be approved by the Tri-County Technical Advisory Committee pursuant to Section 5496.5 of the Government Code.

- A. Call to Order
- B. Approve Agenda
- C. Correspondence
- D. Minutes – July 10, 2015 (Attachment 1)
- E. Public Matters: Information items and persons wishing to address the Committee regarding non-agenda items.
- F. Mitigation Monitoring Programs
- G. Agenda Items:

ITEM NO. 1:

Discussion and possible interpretation of the of the Kirkwood Tree Removal Ordinance as it pertains to removal of trees and vegetation in accordance with the requirements of Public Resources Code 4291 to maintain defensible space of 100 feet from structures

ITEM NO. 2: (Attachment 2)

Request by Kirkwood Mountain Resort/Vail to review proposed tree removal on APNs 006-010-093, 026-270-009, and 006-010-024

ITEM NO. 3: (Attachment 3)

Presentation by Kirkwood Mountain Resort/Vail Resorts providing information showing the changing parking lot configurations since 1992 and the proposal for the Kirkwood Meadows Drive Widening Project

ITEM NO. 4: (Attachment 4)

Request from TC-TAC for additional information concerning the 2014-2015 Workforce Housing Audit, specifically Table 2, "Employee Housing Inventory"

**MINUTES
TRI-COUNTY TECHNICAL ADVISORY COMMITTEE**

July 10, 2015

MEMBERS PRESENT: Zach Wood Alpine County
Aaron Mount El Dorado County
Chuck Beatty Amador County

OTHERS PRESENT:
Nancy Trevett KMA
Michael Sharp KMPUD
Casey Blann Vail Resorts
Karen Leinart Epic Wireless

A. Call to Order:

The meeting was called to order by Aaron Mount at 10:04 am.

B. Approve Agenda:

On a motion by Chuck Beatty seconded by Zach Wood the agenda was approved unanimously, 3-0.

C. Correspondence:

None

D. Minutes:

April 10, 2015 - On a motion by Zach Wood, seconded by Chuck Beatty, the meeting minutes were approved.

E. Public Matters:

None

F. Mitigation Monitoring Programs

- Mitigation Measure 4.9 (b)- Snowmaking Noise Management Program
- Mitigation measure 4.12 (c) COA's 140 and 169- Sensitive Resource poster posted at Kirkwood Inn,
 - The Lodge, General Store, Kirkwood Lake, and Caples Lake
- Mitigation Measure 4.3.1 (h) COA's 56 and 75- Fishing posters posted at Kirkwood Inn, The Lodge,

- General Store, Kirkwood Lake, and Caples Lake
- Mitigation Measure 4.5 (j) COA 93- The Cultural History of Kirkwood pamphlet
- Mitigation Measure 4.7 (d)- Parking Analysis
- Workforce Housing Audit

Nancy Trevett asked about including more detail in the parking analysis to included parking counts for segments of Kirkwood Meadows Dr rather than the cumulative total. The segments proposed were: Meadows Condos to Loop Rd; Loop Rd to Hawkweed; Hawkweed to Wintergreen; and Wintergreen to Hwy 88 right of way.

Casey Blann described a parking working group comprised of interested within Kirkwood. He noted that due to snow and weather conditions the last two season have not had a maximum parking day. KMR has used Google Earth and other methods to verify existing parking. As a result of the Timber Creek Townhome project a significant number of parking spaces were eliminated.

Michael Sharp stated that the current format of the Workforce Housing audit only includes KMR employment. Previous versions of the audit included data for employees of KMPUD, CalTrans, and independent businesses. Sharp also described that the audit doesn't relate broader issues with workforce housing in Kirkwood.

Casey Blann described ongoing transportation programs which are provided by KMR for employees including car pool incentives, shuttles to South Lake Tahoe, and summer shuttles to Tahoe\Gardnerville for shopping\services.

Nancy Trevett stated that the use of Kirkwood and Kirkwood Mountain Resort to identify the ski resort operator can be confusing. TC-TAC committee members agreed that formal identification of the ski resort operator would be as Kirkwood Mountain Resort or KMR.

On a motion by Zach Wood seconded by Chuck Beatty the mitigation monitoring program documentation was accepted. Motion passed, 3-0.

G. Agenda Items:

ITEM 1- Kirkwood Cell Tower Extension Project

Request by Epic Wireless on behalf of Verizon Wireless to extend the height of an existing 40' lattice telecom tower to a total of 60'; includes installation of 12 8' panel antennas, 9 RUS and a 15" Microwave on the proposed extension. Located east of Kirkwood Meadows Drive at 33503 Loop Road, Kirkwood, APN 026-270-016.

Karen Lienart introduced the project and noted that the proponent was willing to make aesthetic improvements to the extension and existing tower structure as directed by TC-

TAC. The need for the tower extension is to accommodate new Verizon cell antennae which will improve signal in the Kirkwood area. The cell facility data “backend” is supported by fiber optic connection provided by Volcano Communications.

Nancy Trevett stated support for the project if it could be painted to match the trees which surround the project site. Zach Wood described the dark forest green which is commonly used by the Forest Service including lift towers and water tanks.

The Committee noted that wireless communication is an important service and infrastructure consideration which was not widely available or considered in detail at the approval of the 2003 Specific Plan. Amador and El Dorado counties have processed several cell facility use permits and described the most common issues with the use permit process.

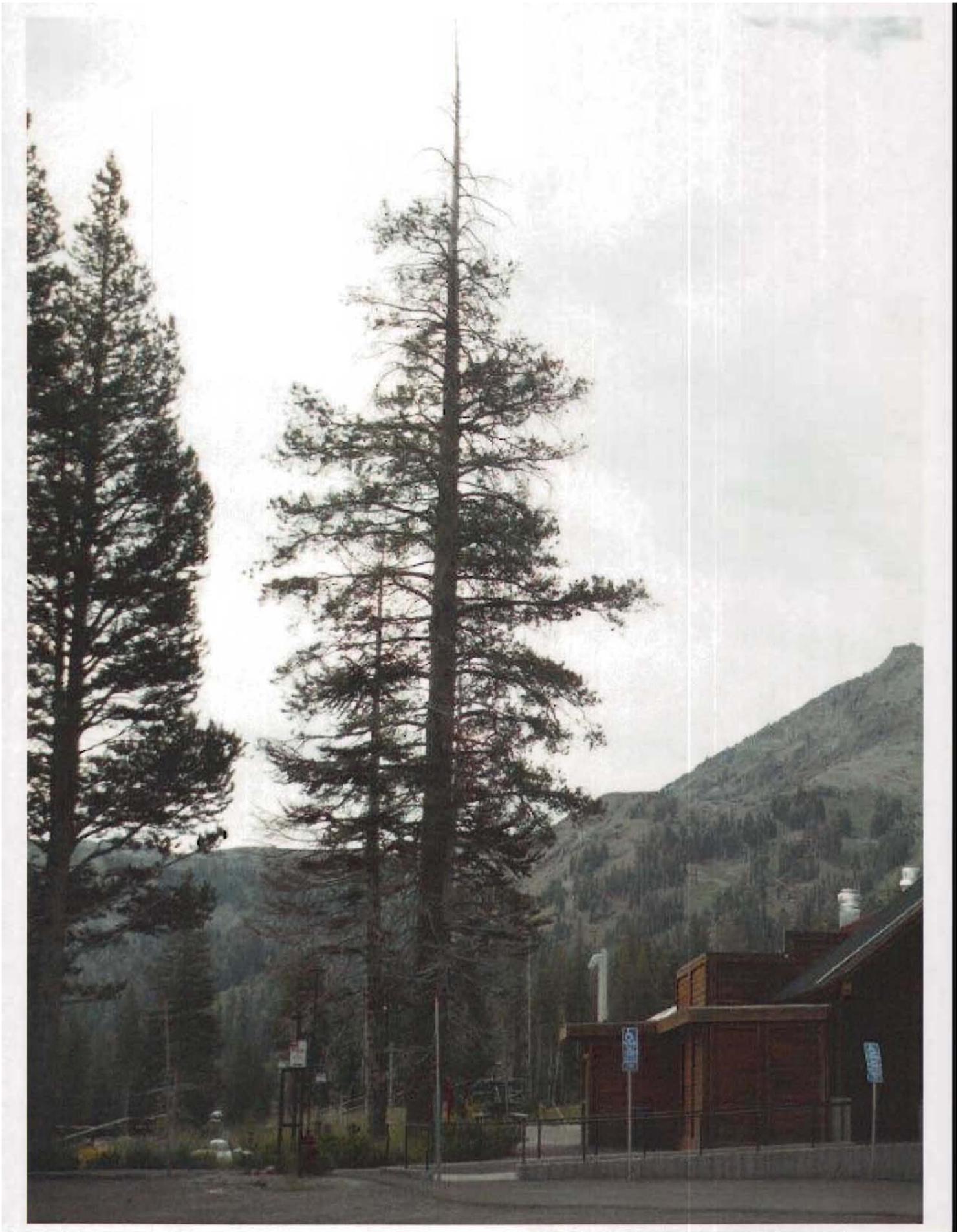
Aaron Mount agreed that painting the tower extension, antennae, and existing tower structure was the best treatment to reduce aesthetic impacts.

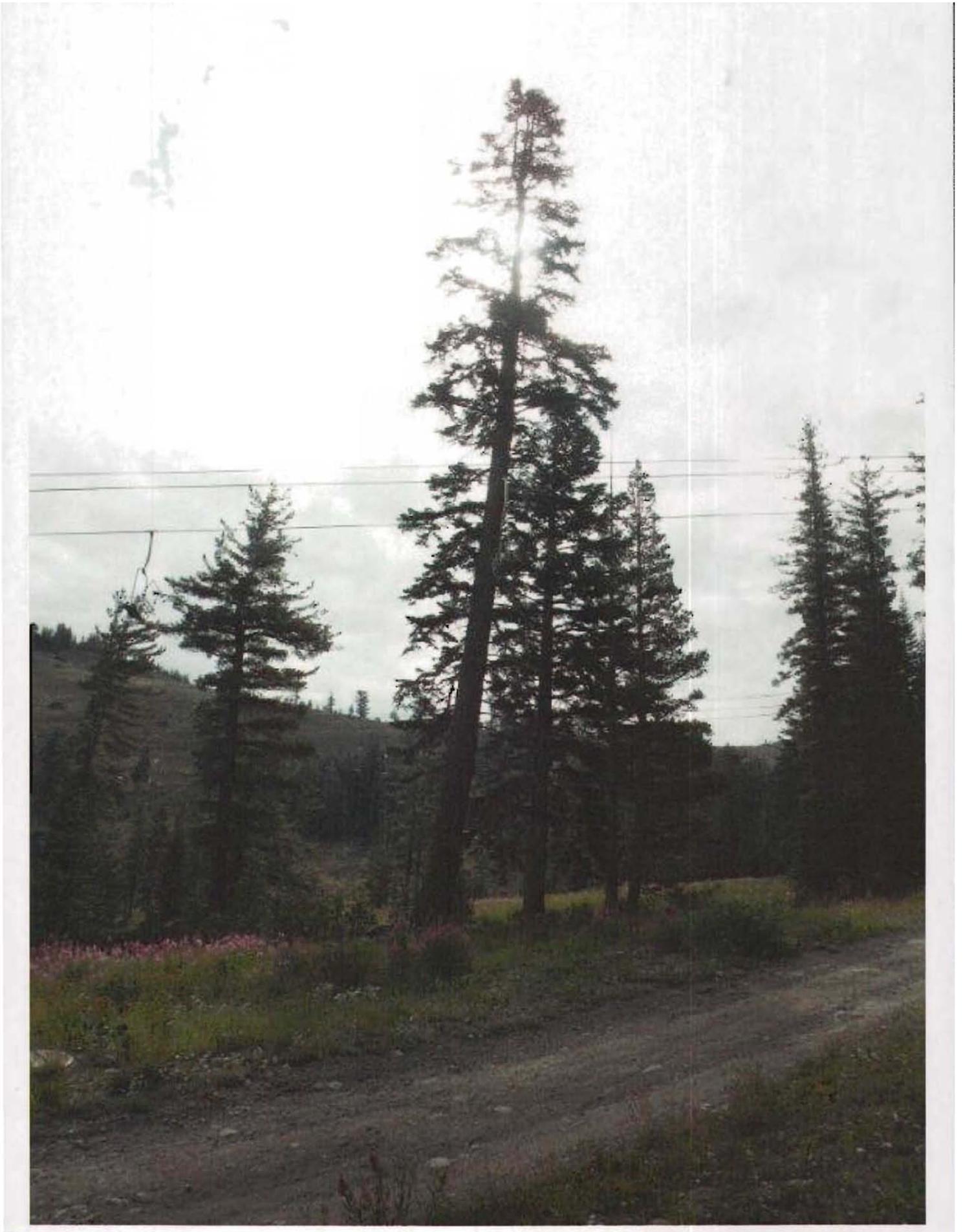
Zach Wood moved to recommend approval of the proposed tower extension with the condition that the extension, existing tower, and new antennae are painted a dark forest green similar to the USFS standard color. The motion was seconded by Aaron Mount. Motion passed, 3-0.

The meeting was adjourned at 10:45 a.m.

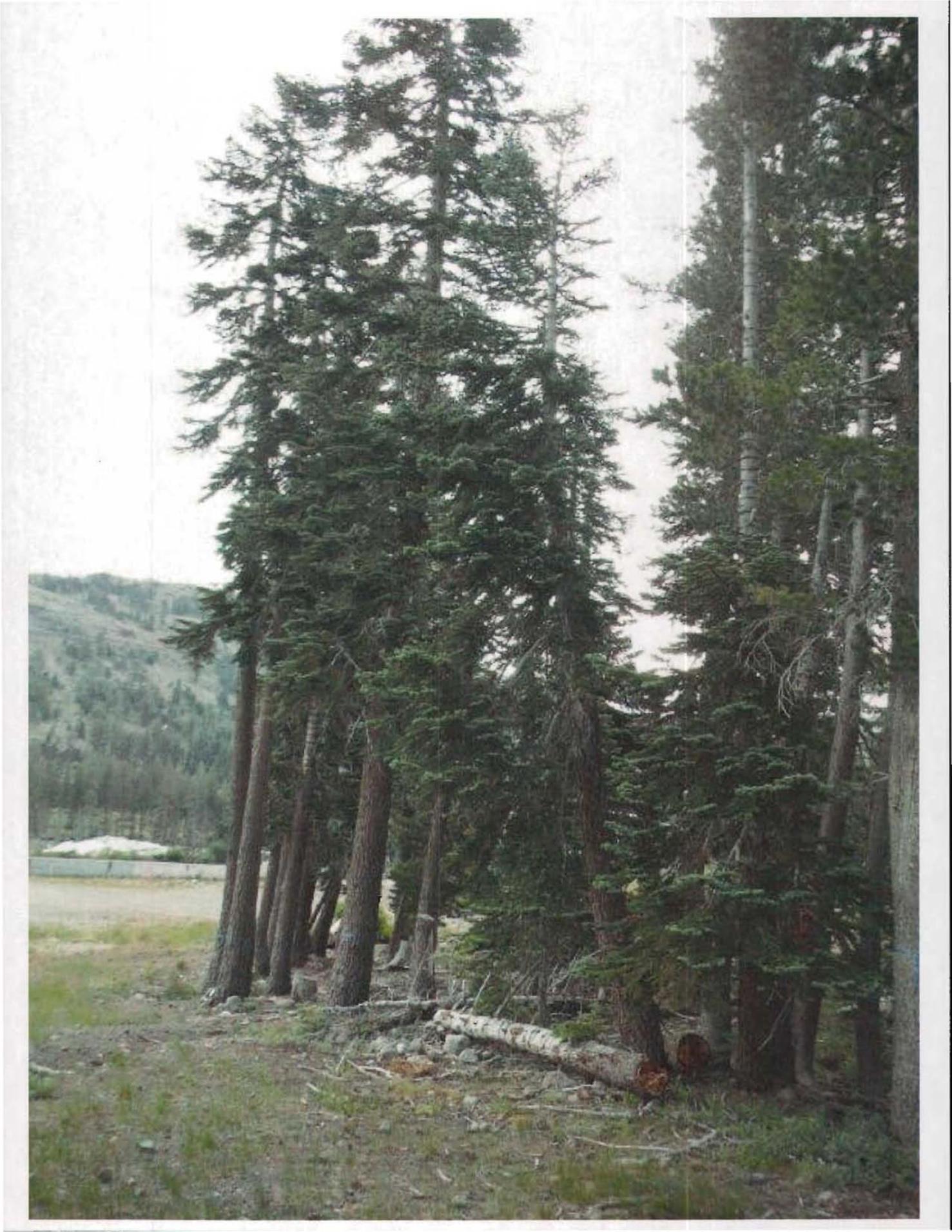
The next meeting is scheduled for August 7, 2015.











Hazard Tree Removal on KMR Private Land

APN# 006-010-093-0 for 2 below:

1- Red Fir @ 36" DBH leaning uphill and toward tower 4 Chair 10. Evidence of rotten core.

1- Lodgepole Pine @ 18" DBH at bottom of Chair 6. Dead with no limbs.

APN# 026-270-009-000

1- Lodgepole Pine@24" DBH @ Timber Creek Childrens's Center & Propane Tank. Dead top.

APN# 006-010-024-0

1- Dead Lodgepole @18" DBH in Vehicle Shop Yard.



DEPARTMENT OF FORESTRY AND FIRE PROTECTION

P.O. Box 944246
SACRAMENTO, CA 94244-2460
Website: www.fire.ca.gov
(916) 653-7772



October 15, 2014

KIRKWOOD MOUNTAIN RESORT LLC
P O BOX 1
KIRKWOOD, CA 95646

Ref.: Exemption Number: 4-14EX-250-AMA
County: Amador
Acres: 1 Acre(s)
Location: S27; T10N; R17E

This letter acknowledges acceptance for a CCR 1038 exemption from plan preparation and submission requirements (PRC 4581) and from the completion report and stocking report requirements (PRC 4585 and 4587) of the Act except no tree that existed before 1800 A.D and is greater than sixty (60) inches in diameter at stump height for Sierra or Coastal Redwoods, and forty-eight (48) inches in diameter at stump height for all other tree species shall be harvested unless done so under the conditions or criteria set forth in subsection 1038 (h).

14 CCR	Exemption Type
1038(a)	Harvesting Christmas Trees
1038(b)	X Harvesting dead, dying or diseased trees of any size, fuelwood or split products in amounts less than 10% of the average volume per acre.
1038(c)	Removal of Fire Hazard trees within 150 feet of a Structure.
1038(d)	Substantially Damaged Timberland Unmerchantable as Sawlog
1038(f)	Lake Tahoe Basin Dead or Dying Trees, 20 Acres or Less
1038(g)	Wood Debris and Slash Removal
1038(i)	Forest Fire Prevention
1038(e)	Operations pursuant to an exemption under subsection (c), (d) and (i) may not commence for five working days from the date of the Director's receipt of the Notice of Exemption unless this delay is waived by the Director.
1038.1	This exemption expires October 14, 2015. Timber operations shall comply with all operational provisions of the Forest Practice Act and District Forest Practice Rules. In-lieu practices for watercourse and lake protection zones, exceptions to rules, and alternative practices are not allowed.

The Regional Water Quality Control Boards (Regional Boards) regulate waste discharges from timber harvest activities. The Regional Boards may have special requirements for timber harvesting conducted under this exemption. Please contact the following with any questions regarding compliance with the California Water Code: Rene Leclerc, 916-464-4626, Sacramento; Douglas Cushman, 530-542-5419, South Lake Tahoe; and Anthony Toto, 559-445-6278, Fresno.

The law requires any person, state or local governmental agency, or public utility to notify the Department of Fish and Game (DFG) before beginning an activity that will substantially modify a river, stream, or lake. If DFG determines that the activity could substantially adversely affect an existing fish and wildlife resource, a Lake or Streambed Alteration Agreement is required. Fish and Game Code exempts only certain types of emergency work from the notification requirement in section 1602. In order to ensure compliance with Fish and Game Code, the following DFG staff may be contacted for questions: Sandra Jacks - 916-358-2916, Rancho Cordova, Region 2; Rhianna Lee - 916-358-4353, Rancho Cordova, Region 2; Dan Applebee - 209-588-1879, Fresno, Region 4.

Compliance with all provisions of the Forest Practice Act and rules will be determined by future inspection. Please refer to the above-referenced exemption number when inquiring about this exemption.

Sincerely,

Michael J. Bacca, RPF#2236
Forester III, Resource Manager

Enclosure(s)

cc: CDF Unit, CDF Forester, LTO, WQ, DFG, BOE, File

July 28, 2015

Dave Myers, Sr. Director of Mountain Operations
Kirkwood Mountain Resort
PO Box 1
Kirkwood, CA. 95646

RE: Report of Findings – Kirkwood Tree Removal

Dear Mr. Myers,

On May 21, 2015, I conducted a site visit of trees proposed for removal at the Kirkwood Resort. This site visit included inspection of multiple hazard trees, as well as removal of trees for skier safety near the bottom of the lower Bunny ski trail.

Hazard Trees (Various Locations):

Hazard tree determinations are largely influenced by the “target”, or what/who would be affected if a given tree were to fail, as well as the size of the tree or tree part most likely to fail. Kirkwood staff had identified multiple trees along ski trails and/or lift lines that had various physical characteristics that warranted concern for the safety of resort users. Upon inspection of each of the subject trees, I found that each tree had excessive lean toward ski trails, damage from winter wind storms, unsound basal wounds with and without active fungal infections, or a combination of these afflictions. Due to the size of each tree and location adjacent to ski trails with heavy seasonal use by the public, I deemed each tree hazardous and suggested their removal in the interest of public safety.

Trees along Right Side of Lower Bunny Trail:

Kirkwood staff identified several trees that pose a risk to skier safety that are located adjacent to a watercourse near the bottom of the lower Bunny trail. After reviewing the site, a 50' Watercourse Protection Zone is required by the California Forest Practice Rules. Within this zone, tree removal is prohibited under an approved Cal Fire Exemption except for the removal of dead and dying trees. In this instance, the subject trees are not dead nor dying, and as such no tree removal can occur within the 50' Watercourse Protection Zone. However, removal of trees outside of this zone would be in compliance with Kirkwood's current approved *Less Than 10% Exemption*.

If Kirkwood wants to remove trees within the Watercourse Protection Zone and further widen the trail at this area for skier safety, the subject widening would meet the definition of “timberland conversion” as per the California Forest Practice Rules. This action would require a Timberland Conversion Permit, or a Less Than Three-Acre Conversion Exemption.

The Timberland Conversion Permit generally covers an area greater than three acres, and is filed with Cal Fire in conjunction with a full Timber Harvest Plan. For areas under three acres in size, a Less Than Three-Acre Conversion Exemption can be filed. This exemption allows for tree removal within Watercourse Protection Zones, unless otherwise prevented by local authority, and is valid for a period of one year. The Conversion Exemption can only be used once per 5 year period for any landowner or entity, unless a Waiver is granted by Cal Fire. The Less Than Three-Acre Conversion Exemption would be an appropriate Cal Fire harvest document for the widening of the lower Bunny ski trail.

Should you have any questions regarding the information contained in this report, please contact me at (530) 927-7095.

Respectfully,

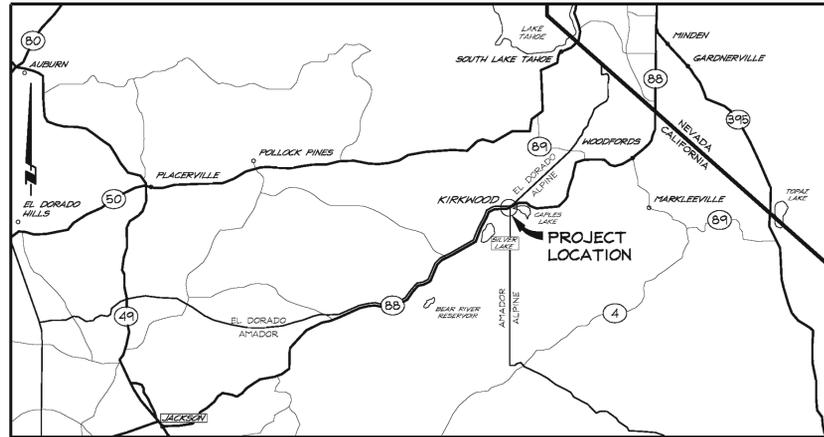


Danielle E. Banchio
RPF #2808
North Valley Resource Management

P.O. BOX 1411
QUINCY, CA. 95971

(530)927-7095 cell
dbanchio@gmail.com

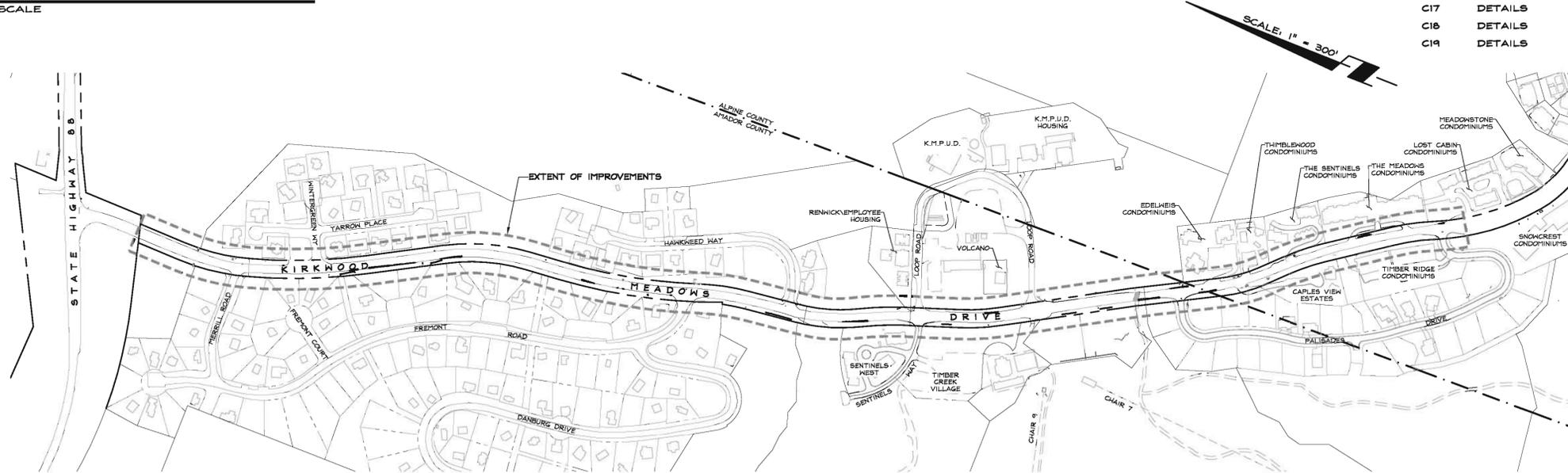
IMPROVEMENT PLANS FOR KIRKWOOD MEADOWS DRIVE



VICINITY MAP
NOT TO SCALE

SHEET INDEX

C1	COVER SHEET
C2	LEGEND, ABBREVIATIONS AND NOTES
C2A	OVERALL STRIPING PLAN
C3	EXISTING CONDITIONS, DEMOLITION AND EROSION CONTROL PLAN
C4	EXISTING CONDITIONS, DEMOLITION AND EROSION CONTROL PLAN
C5	EXISTING CONDITIONS, DEMOLITION AND EROSION CONTROL PLAN
C6	SITE AND GRADING PLAN
C7	SITE AND GRADING PLAN
C8	SITE AND GRADING PLAN
C9	SITE AND GRADING PLAN
C10	SITE AND GRADING PLAN
C11	SIGNAGE AND STRIPING PLAN
C12	SIGNAGE AND STRIPING PLAN
C13	SIGNAGE AND STRIPING PLAN
C14	SNOW STORAGE PLAN
C15	SNOW STORAGE PLAN
C16	SNOW STORAGE PLAN
C17	DETAILS
C18	DETAILS
C19	DETAILS



OVERALL SITE
SCALE: 1" = 300'

APPROVALS

ALPINE COUNTY	DATE
AMADOR COUNTY	DATE
R.O. ANDERSON ENGINEERING, INC.	DATE

TREE REMOVAL COUNT

TOTAL TREES TO BE REMOVED..... 26

PARKING SUMMARY

90° ANGLED PARKING STALLS.....	37
75° ANGLED PARKING STALLS.....	185
60° ANGLED PARKING STALLS.....	192
PARALLEL PARKING STALLS.....	212
COMPACT PARKING STALLS.....	17
TOTAL PARKING = 643	

NO.	DATE	REVISION	BLOCK	BY
Δ	04/21/15	REVISE PARKING STALLS		JS
Δ	04/10/15	REVISE PARKING STALLS		JS



R.O. Anderson
WWW.ROANDERSON.COM
NEVADA: 1505 Emeraldale Ave, Reno, NV 89423, T: 775.782.2922, F: 775.782.7084
CALIFORNIA: 595 Tahoe Keys Blvd, Suite A-2, South Lake Tahoe, CA 96150, T: 530.600.1660, F: 775.782.7084

KIRKWOOD MEADOWS DRIVE IMPROVEMENTS
KIRKWOOD MOUNTAIN RESORT

COVER SHEET



DRAWN: JM/JS	JOB: 1919-001
ENGINEER: ROA	DRAWING: 1919-001C01
SCALE: 1" = 300'	SHEET: C1
DATE: 07/31/15	OF: 20 SHEETS

SYMBOLS

EXISTING	PROPOSED	
○	○	BOULDER
●	●	CENTERLINE MONUMENT
⊙	⊙	SURVEY CONTROL POINT
—	—	SIGN
△	△	REVISION NUMBER
U	U	VAULT
T	T	ELECTRICAL TRANSFORMER PAD
P	P	UTILITY PULL-BOX
☆	☆	STREET LIGHT
●	●	UTILITY POLE
⊙	⊙	UTILITY GUY ANCHOR
⊠	⊠	GAS METER
⊙	⊙	SANITARY SEWER MANHOLE
⊙	⊙	SEWER CLEANOUT
⊠	⊠	STORM DRAIN CATCH BASIN
⊙	⊙	STORM DRAIN DROP INLET
⊠	⊠	STORM DRAIN FLARED END SECTION
⊙	⊙	STORM DRAIN MANHOLE
⊠	⊠	FIRE HYDRANT
⊠	⊠	WATER METER
⊙	⊙	VALVE
●	●	FLUSH VALVE ASSEMBLY
○	○	TREE

ABBREVIATIONS

AASHTO.....AMERICAN ASSOCIATION OF STATE HIGHWAY AND TRANSPORTATION OFFICIALS	N.....NORTH
AB.....ASBESTOS	NE.....NORTHEAST
AC.....ASPHALT CONCRETE	NFIP.....NATIONAL FLOOD INSURANCE PROGRAM
ADA.....AMERICANS WITH DISABILITIES ACT OF 1990	NO(##).....NUMBER
ADT.....AVERAGE DAILY TRAFFIC	NOAA.....NATIONAL OCEANIC AND ATMOSPHERIC ADMINISTRATION
ALT.....ALTITUDE	NRCGS.....NATIONAL RESOURCE CONSERVATION SERVICE
ANSI.....AMERICAN NATIONAL STANDARDS INSTITUTE	NTS.....NOT TO SCALE
APN.....ASSESSOR'S PARCEL NUMBER	NW.....NORTHWEST
APPROX.....APPROXIMATELY	
APWA.....AMERICAN PUBLIC WORKS ASSOCIATION	OC.....ON CENTER
ARV.....AIR RELEASE VALVE	OD.....OUTER DIAMETER
ASCE.....AMERICAN SOCIETY OF CIVIL ENGINEERS	OSHA.....OCCUPATIONAL SAFETY AND HEALTH ACT
ASTM.....AMERICAN SOCIETY OF TESTING AND MATERIALS	O/H.....OVERHEAD
AT.....AT	
AWMA.....AMERICAN WATER WORKS ASSOCIATION	±.....PLUS OR MINUS
	P.....POWER
BC.....BEGIN CURVE	PC.....POINT OF CURVATURE
BCR.....BEGINNING OF CURB RETURN	PDL.....POLY ETHYLENE
BFE.....BASE FLOOD ELEVATION	PED.....PAVING
BLD.....BUILDING	%.....PERCENT
BM.....BACK OF WALK	PIP.....PROTECT IN PLACE
BVC.....BEGIN VERTICAL CURVE	PL.....PROPERTY LINE
	PNT.....POINT
CB&G.....CURB AND GUTTER	PSI.....POUNDS PER SQUARE INCH
CB.....CATCH BASIN	PT.....POINT OF TANGENCY
CF.....CUBIC FOOT	PUE.....PUBLIC UTILITY EASEMENT
CL.....CENTER LINE	PVC.....POLYVINYL CHLORIDE
CHP.....CORRUGATED METAL PIPE	
CO.....CLEAN OUT	R.....RADIUS
COMP.....COMPACTION	RCBC.....REINFORCED CONCRETE BOXED CULVERT
CY.....CUBIC YARD	RCP.....REINFORCED CONCRETE PIPE
	ROW.....RIGHT OF WAY
°.....DEGREES	
DCCD.....DOUGLAS COUNTY COMMUNITY DEVELOPMENT	S=.....SLOPE
DF.....DEEPEN FOOTING	S.....SOUTH
DG.....DECOMPOSED GRANITE	SAD.....SURFACE AREA DISTURBANCE
DI.....DROP INLET	SD.....STORM DRAIN
DIA(φ).....DIAMETER	SDMH.....STORM DRAIN MANHOLE
	SDR.....STANDARD DIMENSION RATIO
E.....EAST	SE.....SOUTHEAST
EA.....EACH	SF.....SQUARE FOOT(FEET)
ECR.....END OF CURB RETURN	SERV.....SERVICE
ELEC.....ELECTRICAL	SIP.....SITE IMPROVEMENT PERMIT
EL.....ELECTRICAL	SS.....SANITARY SEWER
EP.....EDGE OF PAVEMENT	SSMH.....SANITARY SEWER MANHOLE
EPA.....ENVIRONMENTAL PROTECTION AGENCY	ST.....STREET
EVC.....END VERTICAL CURVE	STA.....STATION
EW.....EDGE OF WATER	STD.....STANDARD
EX.....EXISTING	SW.....SOUTHWEST
	SWPPP.....STORMWATER POLLUTION PREVENTION PLAN
FDG.....FIRE DEPARTMENT CONNECTION	TBC.....TOP BACK OF CURB
FEMA.....FEDERAL EMERGENCY MANAGEMENT AGENCY	TC.....TOP OF CURB
FF.....FINISHED FLOOR	TEL.....TELEPHONE
FG.....FINISHED GRADE	TOE.....TOE OF SLOPE
FH.....FIRE HYDRANT	TOG.....TOWN OF GARDNERVILLE
FL.....FLOWLINE	TOP.....TOP OF SLOPE
FNC.....FENCE	TV.....TELEVISION
FND.....FOUND MONUMENT, CORNER OR CONTROL POINT	TK.....TOP OF WALL
FT(°).....FEET	TYF.....TYPICAL
	U.....UTILITY
GB.....GRADE BREAK	UG.....UNDERGROUND
GID.....GENERAL IMPROVEMENT DISTRICT	USACE.....UNITED STATES ARMY CORPS OF ENGINEERS
GPM.....GALLONS PER MINUTE	USBR.....UNITED STATES BUREAU OF RECLAMATION
GR.....GRAVEL	USGS.....UNITED STATES GEOLOGICAL SURVEY
GS.....GROUND SHOT	
	VC.....VERTICAL CURVE
H/C.....HANDICAP	VG.....VALLEY GUTTER
HDPPE.....HIGH DENSITY POLYETHYLENE	VERT.....VERTICAL
HORIZ.....HORIZONTAL	VPC.....VERTICAL POINT OF CURVATURE
	VPT.....VERTICAL POINT OF TANGENCY
ID.....INNER DIAMETER	
IE.....INVERT ELEVATION	W.....WEST
IN(°).....INCH	WV.....WITH
INC.....INCORPORATED	WV.....WATER GATE VALVE
IBC.....INTERNATIONAL BUILDING CODE	YR.....YEAR
INT.....INTERSECTION	
IRRI.....IRRIGATION	
L.....LEFT	
LAT.....LATERAL	
LS.....LUMP SUM	
M.....METER	
MAX.....MAXIMUM	
MGD.....MILLION GALLONS PER DAY	
MH.....MANHOLE	
MI.....MILE	
MIN.....MINIMUM	
MISC.....MISCELLANEOUS	
MPH.....MILES PER HOUR	
MUTCD.....MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES	

GENERAL NOTES

- CONTRACTOR SHALL COMPLY WITH ALL FEDERAL, STATE AND LOCAL LAWS DURING THE COURSE OF CONSTRUCTION.
- SWPP SHALL BE DEVELOPED AND IMPLEMENTED FOR SPECIFIC USE AT THE PROJECT SITE PRIOR TO COMMENCEMENT OF CONSTRUCTION, AND INCLUDE MEASURES SPECIFIED BELOW. APPROPRIATE MEASURES SHALL BE IMPLEMENTED TO ENSURE CONTAINMENT OF HAZARDOUS MATERIAL, INCLUDING CHECKING FOR LEAKS AND REPAIRING, AND USE OF DESIGNATED FUELING AND MAINTENANCE AREAS.
- ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE CONDITIONS OF FEDERAL, STATE AND LOCAL LAWS, REGULATIONS, PERMITS, AND OTHER APPLICABLE REQUIREMENTS. SPECIAL ATTENTION IS DIRECTED TO CALIFORNIA DEPARTMENT OF FORESTRY AND FIRE PROTECTION, GREAT BASIN AIR POLLUTION DISTRICT, US ARMY CORPS OF ENGINEERS, CALIFORNIA DEPARTMENT OF FISH AND GAME, CENTRAL VALLEY REGIONAL WATER QUALITY CONTROL BOARD AND OTHER AGENCIES' REQUIREMENTS.
- SITE IMPROVEMENT STANDARDS SHALL BE IN ACCORDANCE WITH ALPINE AND AMADOR COUNTY IMPROVEMENT STANDARDS. WORK ITEMS NOT ADDRESSED IN THESE IMPROVEMENT STANDARDS SHALL CONFORM TO THE MOST RECENT EDITION OF THE STANDARD SPECIFICATIONS AND STANDARD PLANS OF THE CALIFORNIA DEPARTMENT OF TRANSPORTATION AND ACCEPTED ENGINEERING PRACTICE.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATION AND/OR PROTECTION OF ALL EXISTING AND PROPOSED PIPING, UTILITIES, STRUCTURES, ADJACENT STREETS, AND IMPROVEMENTS DURING THE PERIOD OF CONSTRUCTION.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR NOTIFYING THE ENGINEER OF ANY DISCREPANCIES IN THE IMPROVEMENT PLANS.
- THE PAVEMENT SURFACE WHEN COMPLETED, SHALL BE SMOOTH, DENSE, WELL BONDED AND OF UNIFORM TEXTURE AND APPEARANCE. ALL AREAS SHALL DRAIN AND BE FREE OF STANDING WATER.
- THE ENGINEER OF RECORD SHALL PROVIDE THE JURISDICTIONAL AUTHORITIES WITH A SIGNED AND SEALED SET OF RECORD DRAWINGS. THE RECORD DRAWINGS SHALL CLEARLY BEAR THE STAMP "RECORD INFORMATION" ON EACH SHEET. THE ENGINEER OF RECORD SHALL PROVIDE AN OPINION LETTER REGARDING THE CONSTRUCTION SIMILAR TO THE FOLLOWING:

a. I HEREBY CERTIFY THAT I AM A LICENSED ENGINEER IN THE STATE OF CALIFORNIA. TO THE BEST OF MY KNOWLEDGE, INFORMATION AND BELIEF, THE PROJECT WAS CONSTRUCTED IN GENERAL CONFORMANCE WITH THE PLANS AND SPECIFICATIONS, AND IN MY PROFESSIONAL OPINION, IS IN COMPLIANCE WITH APPLICABLE LAWS, CODES AND ORDINANCES.

SPILL PREVENTION AND RESPONSE

- CONTRACTOR SHALL STEAM CLEAN ALL EQUIPMENT THAT WILL BE WORKING ON-SITE AT SHOP PRIOR TO COMMENCING CONSTRUCTION.
- ALL EQUIPMENT SHALL BE CHECKED FOR LEAKS AND REPAIRED PRIOR TO COMMENCING CONSTRUCTION.
- CONTRACTOR SHALL INSURE INTEGRITY OF EROSION CONTROL MEASURES DURING THE COURSE OF CONSTRUCTION.
- CONTRACTOR SHALL USE DRIP PANS OR ABSORBENT MATS DURING FUELING AND MAINTENANCE TO PROTECT AGAINST SPILLS.
- SPILLED PETROLEUM PRODUCTS, CONTAMINATED SOILS OR WATER, AND ACCUMULATED SEDIMENTS SHALL BE CLEANED UP AND PROPERLY DISPOSED OF AT A LICENSED FACILITY. DISCHARGE OF SUCH MATERIALS TO THE STREAM CHANNEL OR DITCHES IS PROHIBITED.

SURVEY CONTROL

BASIS OF BEARING

CALIFORNIA COORDINATE SYSTEM - NAD 83 - ZONE 2
SCALED TO GROUND USING A COMBINED SCALE FACTOR OF 1.00043972340133

LOCAL CONTROL (SEE SHEET C3)

- CP#1 1/2" REBAR W/ROA CAP:
NORTHING: 2023689.95
EASTING: 7113494.59
ELEVATION: 7714.07'
- CP#2 5/8" CAP PLS 7949
NORTHING: 202298.43
EASTING: 7113522.17
ELEVATION: 7731.42'

DATUM

VERTICAL DATUM FOR THIS PROJECT IS NAVD 88 AND IS BASED UPON:

"HPGN CA 1012"
ELEVATION: 7679.675
GEOID 09
EPOCH 2002.0000

GRADING

- ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE INTERNATIONAL BUILDING CODE, OSHA REQUIREMENTS FOR EXCAVATION, AND SPECIAL REQUIREMENTS OF THE PERMIT. VIOLATIONS WILL RESULT IN THE STOPPAGE OF ALL WORK UNTIL THE VIOLATION IS CORRECTED.
- NO WORK SHALL BE STARTED WITHOUT FIRST NOTIFYING THE COUNTY ENGINEER AT (209) 223-6371 AT LEAST 2 WORKING DAYS BEFORE WORK IS COMMENCED.
- SLOPES SHALL BE NO STEEPER THAN 2 HORIZONTAL TO 1 VERTICAL, OR AS DETERMINED BY THE SOILS ENGINEER AND APPROVED BY THE COUNTIES.
- FILLS SHALL BE PLACED IN ACCORDANCE WITH THE REQUIREMENTS OF THE "CALTRANS STANDARD PLANS AND SPECIFICATIONS".
- FILL AREAS SHALL BE CLEARED OF VEGETATION AND DEBRIS, SCARIFIED, AND BE APPROVED BY THE ENGINEER OF RECORD PRIOR TO THE PLACING OF FILL.
- PROTECTIVE MEASURES AND TEMPORARY DRAINAGE PROVISIONS SHALL BE USED TO PROTECT ADJOINING PROPERTIES DURING CONSTRUCTION OF IMPROVEMENTS.
- DUST SHALL BE CONTROLLED BY THE CONTRACTOR TO THE SATISFACTION OF THE COUNTIES.
- ALL STREETS SHALL BE MAINTAINED FREE OF DUST, MUD AND OTHER DEBRIS CAUSED BY GRADING AND OTHER SITE IMPROVEMENT ACTIVITIES.
- THE DEVELOPER'S ENGINEER OR SURVEYOR SHALL SET GRADE STAKES FOR ALL DRAINAGE DEVICES AND THE CONTRACTOR SHALL OBTAIN INSPECTION BEFORE PLACING CONCRETE.
- NO ROCK OR SIMILAR MATERIAL GREATER THAN 4" IN DIAMETER SHALL BE PLACED IN THE FILL UNLESS RECOMMENDATIONS FOR SUCH PLACEMENT HAVE BEEN RECOMMENDED BY THE ENGINEER OF RECORD AND APPROVED BY THE COUNTIES.
- A GEOTECHNICAL ENGINEER SHALL APPROVE ALL GRADING INCLUDING COMPACTION REQUIREMENTS AND THE STABILITY OF SLOPES CREATED, EXISTING OR REMAINING.
- IN THE EVENT OF CHANGES ARISING DURING CONSTRUCTION, THE DEVELOPER SHALL NOTIFY THE ENGINEER OF RECORD WHO WILL BE RESPONSIBLE FOR DETERMINING AN ACCEPTABLE SOLUTION AND REVISING THE PLANS FOR REVIEW AND APPROVAL BY THE COUNTIES. NO CHANGES IN THE DESIGN WILL BE PERMITTED UNLESS WRITTEN APPROVAL IS GIVEN BY THE COUNTIES.
- EROSION CONTROL:
 - A STANDBY CREW FOR EMERGENCY WORK SHALL BE AVAILABLE AT ALL TIMES. NECESSARY MATERIALS SHALL BE AVAILABLE ON-SITE AND STOCKPILED AT APPROVED LOCATIONS TO FACILITATE RAPID CONSTRUCTION OF TEMPORARY DEVICES OR TO REPAIR DAMAGED EROSION CONTROL MEASURES.
 - AFTER A RAINSTORM, ALL SILT AND DEBRIS SHALL BE REMOVED FROM CHECK BERMS AND DESILTING FACILITIES SO AS NOT TO AFFECT THEIR ABILITY TO PERFORM THE INTENDED FUNCTION. GRADED SLOPE SURFACE PROTECTION MEASURES DAMAGED DURING THE RAINSTORM SHALL ALSO BE REPAIRED.
 - FILL SLOPES AT THE PROJECT PERIMETER MUST DRAIN AWAY FROM THE TOP OF THE SLOPE AT THE CONCLUSION OF EACH WORKING DAY.
- DISPOSAL OF STUMPS AND BRUSH SHALL EITHER BE CHIPPED ON-SITE, OR TAKEN TO A FACILITY FOR DISPOSAL.
- ORGANIC LADEN SOILS SHALL BE STRIPPED AND STORED FOR USE AS TOPSOIL DURING FINAL GRADING.
- ALL DISTURBED AREAS SHALL BE REVEGETATED.

HATCHING

	EXISTING PAVEMENT		PROPOSED PAVEMENT (PER SECTION ON C17)
--	-------------------	--	--

LINE TYPES

EXISTING	PROPOSED	
---	---	CENTERLINE
---	---	MAJOR CONTOUR
---	---	MINOR CONTOUR
---	---	EASEMENT
---	---	EP AND/OR LIP OF GUTTER
---	---	FLOW LINE
---	---	FENCE
---	---	RIGHT-OF-WAY/PROPERTY LINE
---	---	TELEPHONE
---	---	STORM DRAIN

EARTHWORK VOLUME

CUT = 1,604 C.Y.
FILL = 460 C.Y.
NET = 1,144 C.Y. CUT

VOLUMES ARE BASED ON THE FOLLOWING:
-USED 1% COMPACTION/EXPANSION RATIO
-ASSUMED 2" CLEAR AND GRUB
(102,900 S.F. = 610 C.Y.)

NOTE: NOT ALL SYMBOLS, ABBREVIATIONS, NOTES, LINETYPES & HATCHING LISTED MAY BE APPLICABLE TO THIS PROJECT.

NO.	DATE	REVISION	BLOCK	BY

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F 775.782.7084

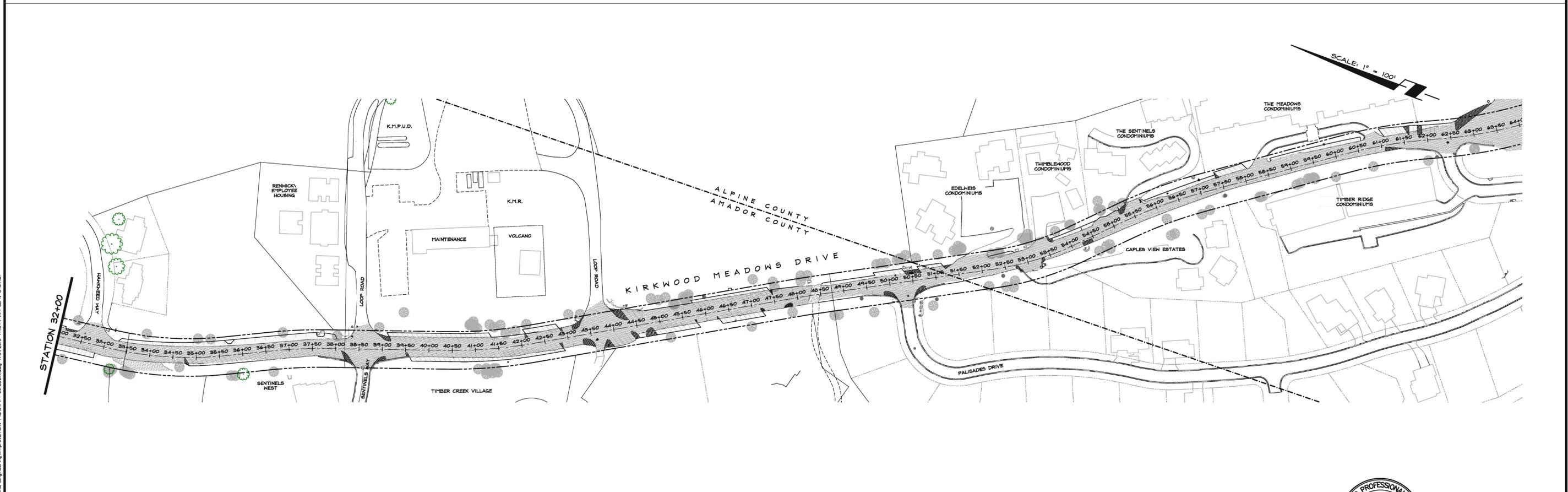
CALIFORNIA
595 Tahoe Keys Blvd
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South Lake Tahoe, CA 96150
P 530.600.1660
F 775.782.7084

KIRKWOOD MEADOWS DRIVE IMPROVEMENTS
KIRKWOOD MOUNTAIN RESORT

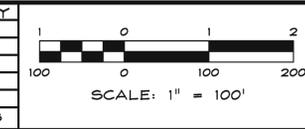
LEGEND,
ABBREVIATIONS
& NOTES



DRAWN:	JM	JOB:	1919-001
ENGINEER:	ROA	DRAWING:	SEE PLOT STAMP
SCALE:	NO SCALE	SHEET:	C2
DATE:	07/31/15	OF:	20 SHEETS



NO.	DATE	REVISION	BLOCK	BY
1	04/10/15	REVISE	PARKING STALLS	JS



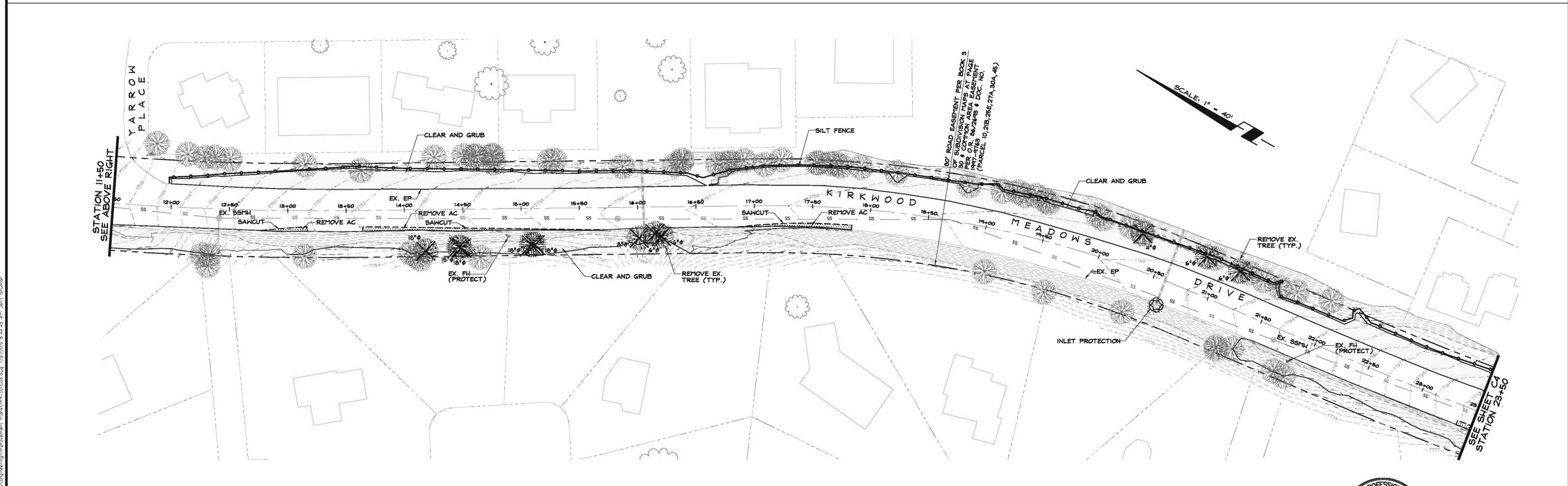
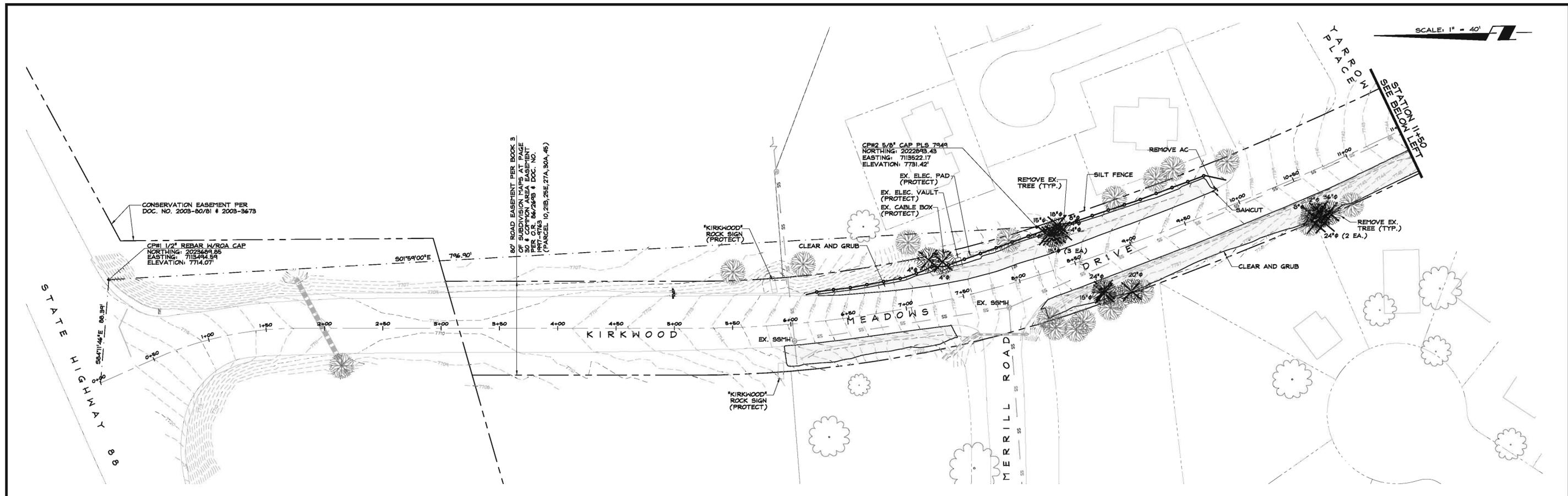
RO Anderson
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 CALIFORNIA: 595 Tahoe Keys Blvd, Suite A-2, South Lake Tahoe, CA 96150, P: 530.620.1660, F: 775.782.7084

KIRKWOOD MEADOWS DRIVE IMPROVEMENTS
KIRKWOOD MOUNTAIN RESORT

OVERALL STRIPING PLAN



DRAWN: JM/JS	JOB: 1919-001
ENGINEER: ROA	DRAWING: 1919-001C02A
SCALE: 1" = 100'	SHEET: C02A
DATE: 07/31/15	OF: 20 SHEETS



NO.	DATE	REVISION	BLOCK	BY



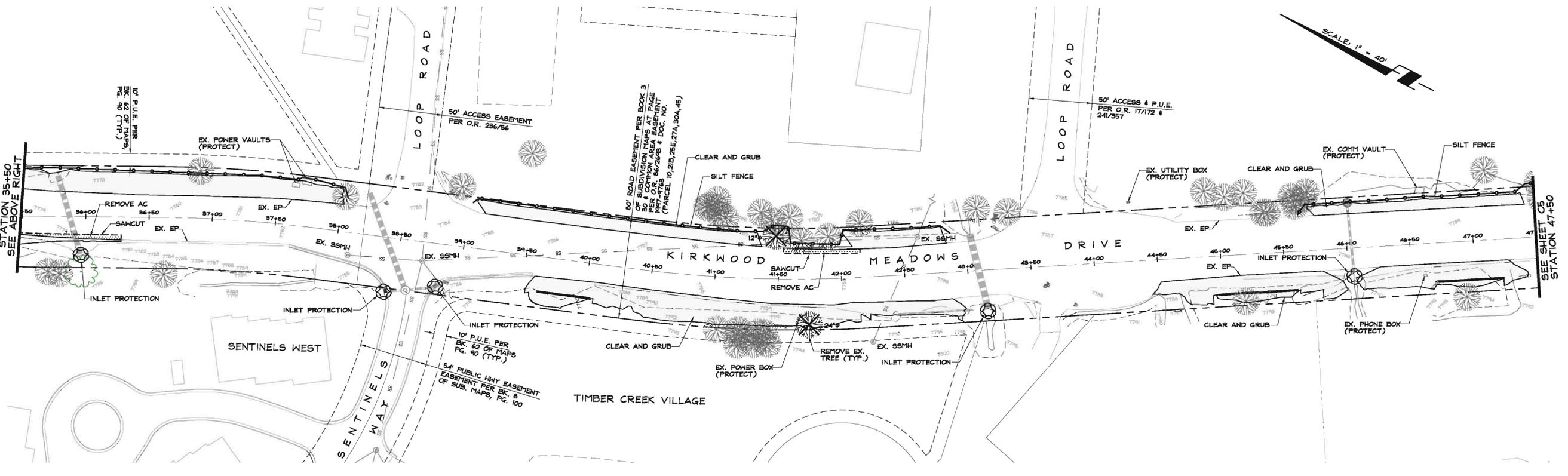
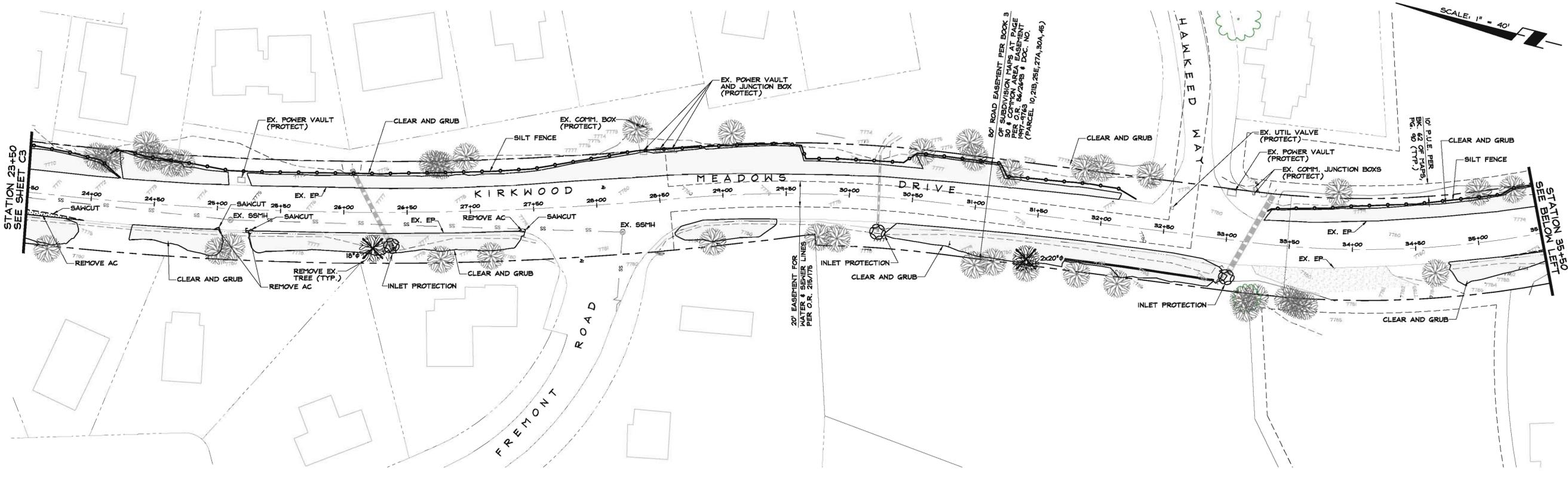
RO Anderson
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 CALIFORNIA: 595 Tahoe Keys Blvd. 775.782.7084

KIRKWOOD MEADOWS DRIVE IMPROVEMENTS
KIRKWOOD MOUNTAIN RESORT

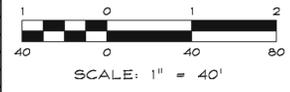
EXISTING CONDITION,
DEMOLITION AND
EROSION CONTROL PLAN



DRAWN:	JM	JOB:	1919-001
ENGINEER:	ROA	DRAWING:	1919-001C03
SCALE:	1" = 40'	SHEET:	C3
DATE:	07/31/15	OF:	20 SHEETS



NO.	DATE	REVISION	BLOCK	BY



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 775.409.1660
 775.762.7084

**KIRKWOOD MEADOWS DRIVE IMPROVEMENTS
 KIRKWOOD MOUNTAIN RESORT**

**EXISTING CONDITIONS
 AND
 DEMOLITION PLAN**

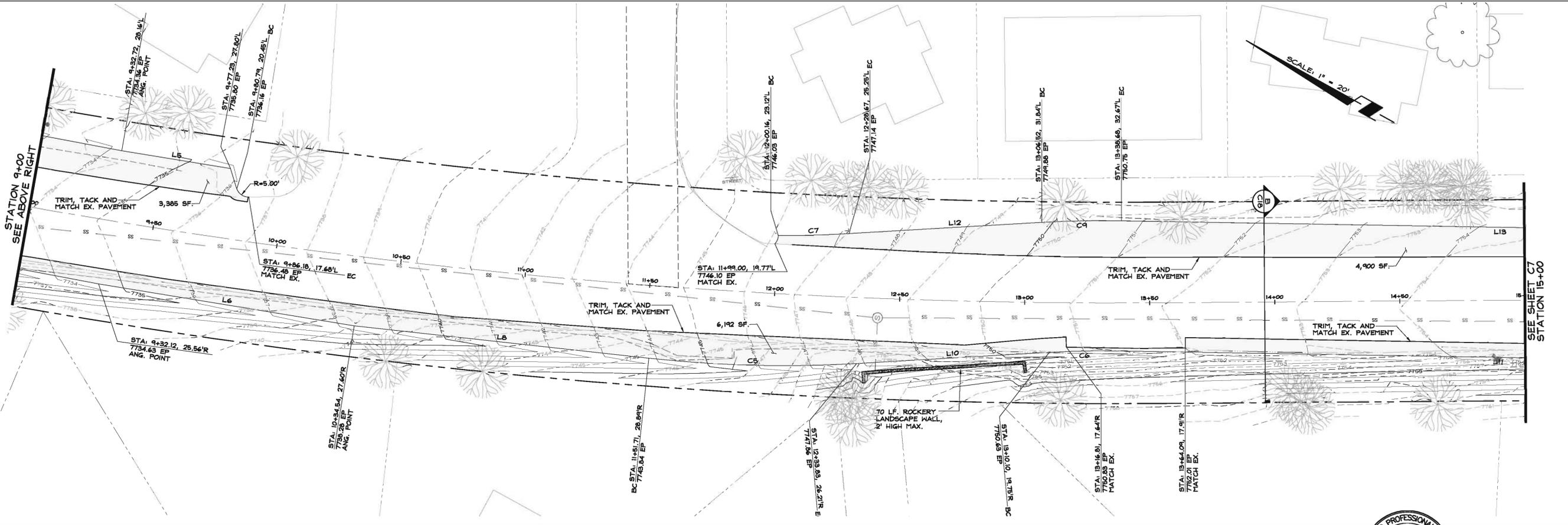
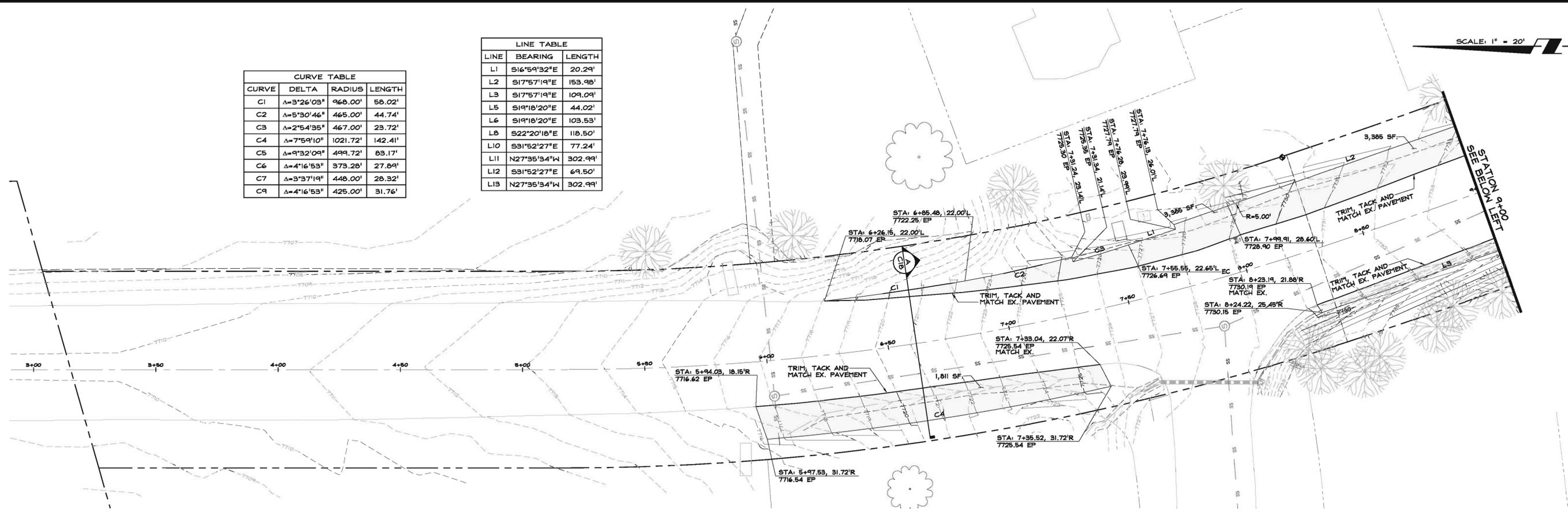


DRAWN: JM	JOB: 1919-001
ENGINEER: ROA	DRAWING: 1919-001C04
SCALE: 1" = 40'	SHEET: C4
DATE: 07/31/15	OF: 20 SHEETS

SCALE: 1" = 20'

CURVE TABLE			
CURVE	DELTA	RADIUS	LENGTH
C1	Δ=3°26'03"	968.00'	58.02'
C2	Δ=5°30'46"	465.00'	44.74'
C3	Δ=2°54'35"	467.00'	23.72'
C4	Δ=7°59'10"	1021.72'	142.41'
C5	Δ=9°32'09"	499.72'	83.17'
C6	Δ=4°16'53"	373.28'	27.89'
C7	Δ=3°37'19"	448.00'	28.32'
C9	Δ=4°16'53"	425.00'	31.76'

LINE TABLE		
LINE	BEARING	LENGTH
L1	S16°59'32"E	20.29'
L2	S17°57'19"E	153.98'
L3	S17°57'19"E	109.09'
L5	S19°18'20"E	44.02'
L6	S19°18'20"E	103.53'
L8	S22°20'18"E	118.50'
L10	S31°52'27"E	77.24'
L11	N27°35'34"W	302.99'
L12	S31°52'27"E	69.50'
L13	N27°35'34"W	302.99'



NO.	DATE	REVISION	BLOCK	BY



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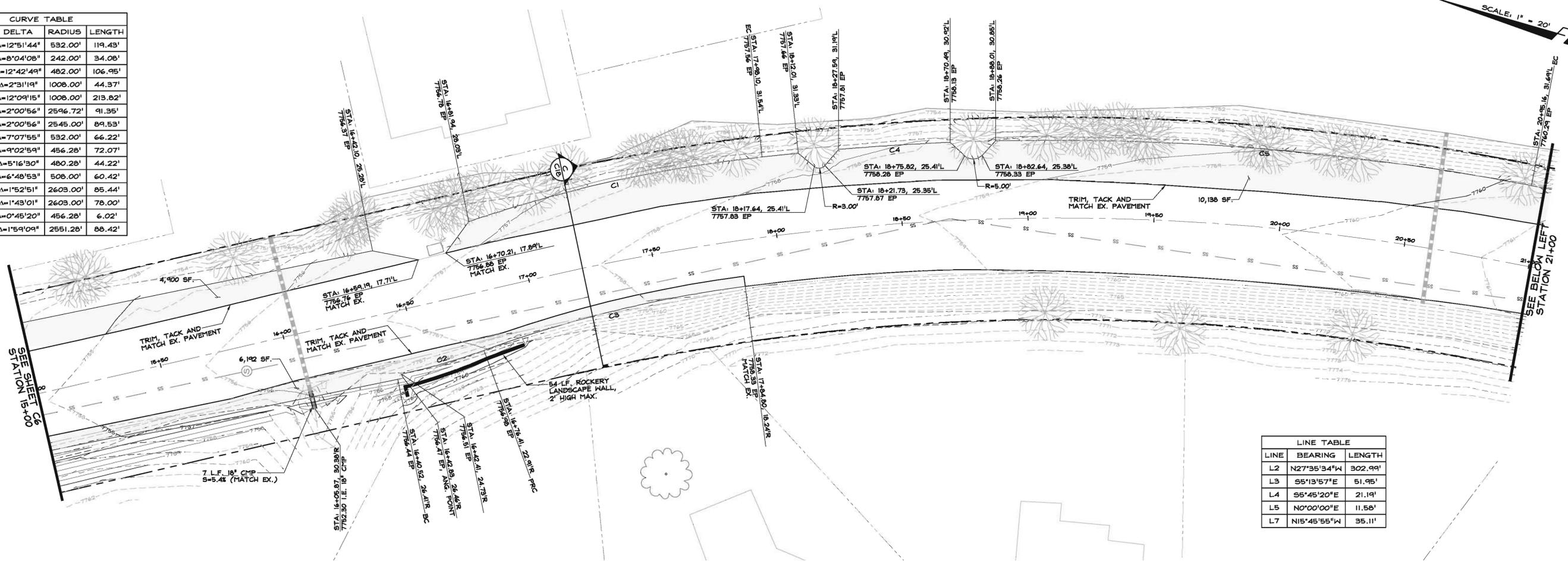
KIRKWOOD MEADOWS DRIVE IMPROVEMENTS SITE AND GRADING PLAN
KIRKWOOD MOUNTAIN RESORT

STA: 3+40 TO STA: 15+00



DRAWN: JM	JOB: 1919-001
ENGINEER: ROA	DRAWING: 1919-00106
SCALE: 1" = 20'	SHEET: C6
DATE: 07/31/15	OF: 20 SHEETS

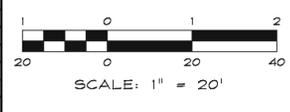
CURVE TABLE			
CURVE	DELTA	RADIUS	LENGTH
C1	Δ=12°51'44"	532.00'	119.43'
C2	Δ=8°04'08"	242.00'	34.08'
C3	Δ=12°42'49"	482.00'	106.95'
C4	Δ=2°31'19"	1008.00'	44.37'
C5	Δ=12°09'15"	1008.00'	213.82'
C6	Δ=2°00'56"	2596.72'	91.35'
C7	Δ=2°00'56"	2545.00'	89.53'
C8	Δ=7°07'55"	532.00'	66.22'
C9	Δ=9°02'59"	456.28'	72.07'
C10	Δ=5°16'30"	480.28'	44.22'
C11	Δ=6°48'53"	508.00'	60.42'
C12	Δ=1°52'51"	2603.00'	85.44'
C13	Δ=1°43'01"	2603.00'	78.00'
C14	Δ=0°45'20"	456.28'	6.02'
C15	Δ=1°59'04"	2551.28'	88.42'



LINE TABLE		
LINE	BEARING	LENGTH
L2	N27°35'34"W	302.99'
L3	S5°13'57"E	51.95'
L4	S5°45'20"E	21.19'
L5	N0°00'00"E	11.58'
L7	N15°45'55"W	35.11'



NO.	DATE	REVISION	BLOCK	BY



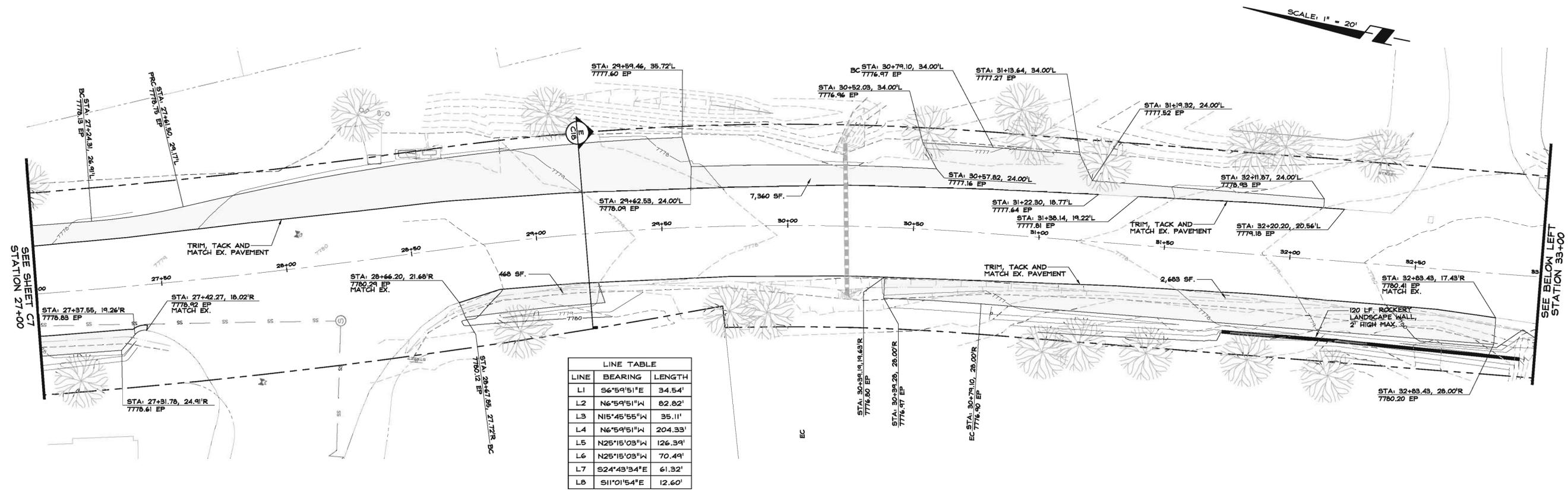
RO Anderson
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 CALIFORNIA: 595 Tahoe Keys Blvd, Suite A-2, South Lake Tahoe, CA 96150
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KIRKWOOD MEADOWS DRIVE IMPROVEMENTS
KIRKWOOD MOUNTAIN RESORT

SITE AND GRADING PLAN
STA: 15+00 TO STA: 27+00

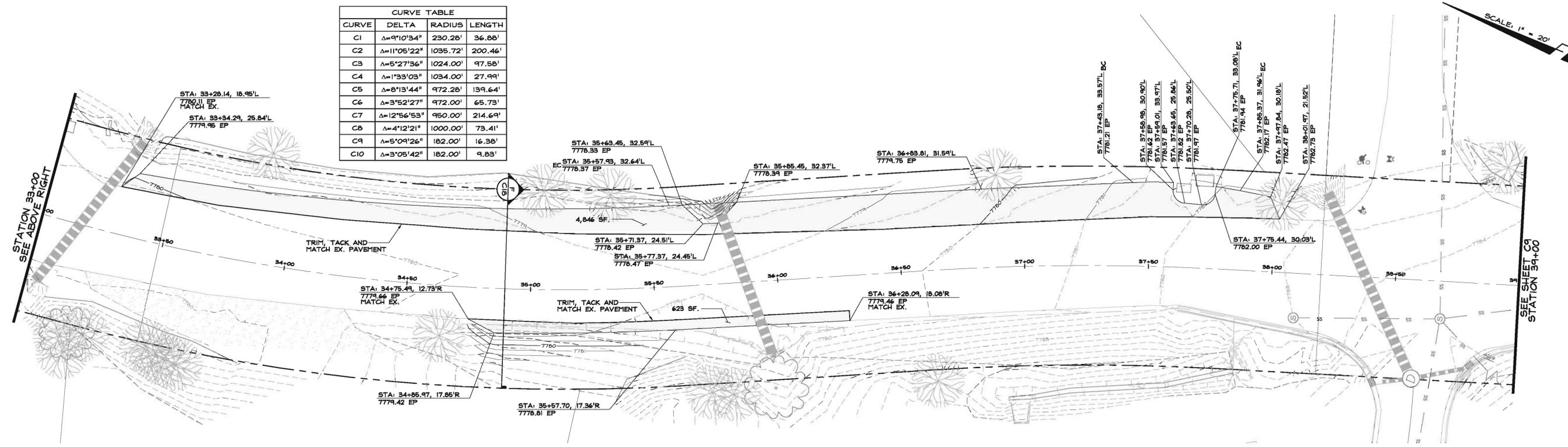


DRAWN:	JM	JOB:	1919-001
ENGINEER:	ROA	DRAWING:	1919-001C07
SCALE:	1" = 20'	SHEET:	C7
DATE:	07/31/15	OF:	20 SHEETS



LINE	BEARING	LENGTH
L1	S6°59'51"E	34.54'
L2	N6°59'51"W	82.82'
L3	N15°45'55"W	35.11'
L4	N6°59'51"W	204.33'
L5	N25°15'03"W	126.39'
L6	N25°15'03"W	70.49'
L7	S24°43'34"E	61.32'
L8	S11°01'54"E	12.60'

CURVE	DELTA	RADIUS	LENGTH
C1	Δ=9°10'34"	230.28'	36.88'
C2	Δ=11°05'22"	1035.72'	200.46'
C3	Δ=5°27'36"	1024.00'	97.58'
C4	Δ=1°33'03"	1034.00'	27.99'
C5	Δ=8°13'44"	972.28'	139.64'
C6	Δ=3°52'27"	972.00'	65.73'
C7	Δ=12°56'53"	950.00'	214.69'
C8	Δ=4°12'21"	1000.00'	73.41'
C9	Δ=5°09'26"	182.00'	16.38'
C10	Δ=3°05'42"	182.00'	9.83'



NO.	DATE	REVISION	BLOCK	BY



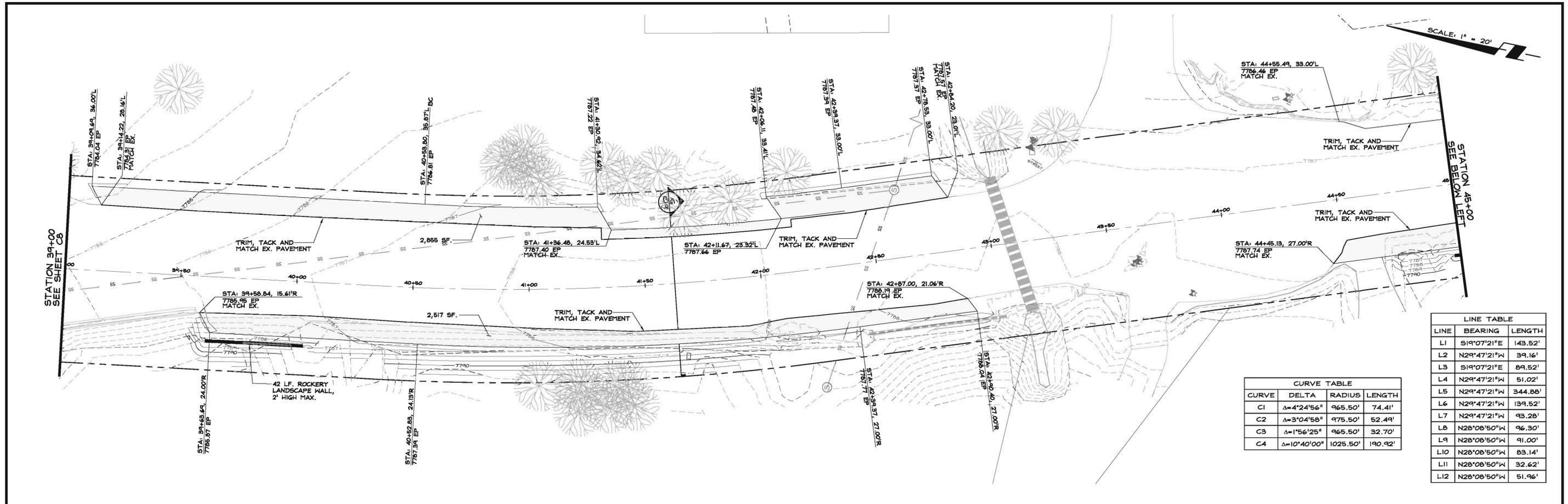
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KIRKWOOD MEADOWS DRIVE IMPROVEMENTS
KIRKWOOD MOUNTAIN RESORT

SITE AND GRADING PLAN
STA: 27+00 TO STA: 39+00



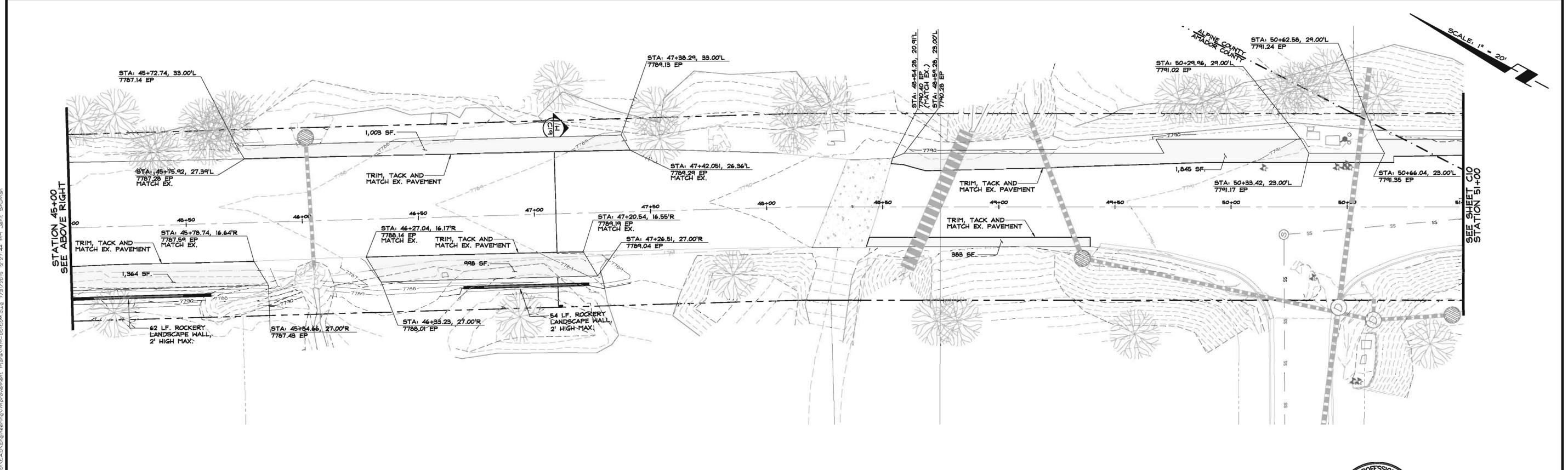
DRAWN:	JM	JOB:	1919-001
ENGINEER:	ROA	DRAWING:	1919-00108
SCALE:	1" = 20'	SHEET:	C8
DATE:	07/31/15	OF: 20 SHEETS	



SCALE: 1" = 20'

LINE	BEARING	LENGTH
L1	S19°07'21"E	143.52'
L2	N29°47'21"W	39.16'
L3	S19°07'21"E	89.52'
L4	N29°47'21"W	51.02'
L5	N29°47'21"W	344.88'
L6	N29°47'21"W	139.52'
L7	N29°47'21"W	93.28'
L8	N28°08'50"W	96.30'
L9	N28°08'50"W	91.00'
L10	N28°08'50"W	83.14'
L11	N28°08'50"W	32.62'
L12	N28°08'50"W	51.96'

CURVE	DELTA	RADIUS	LENGTH
C1	Δ=4°24'56"	965.50'	74.41'
C2	Δ=3°04'58"	975.50'	52.49'
C3	Δ=1°56'25"	965.50'	32.70'
C4	Δ=10°40'00"	1025.50'	190.92'



NO.	DATE	REVISION	BLOCK	BY



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 NEVADA: 775.782.2322 | CALIFORNIA: 775.782.7084

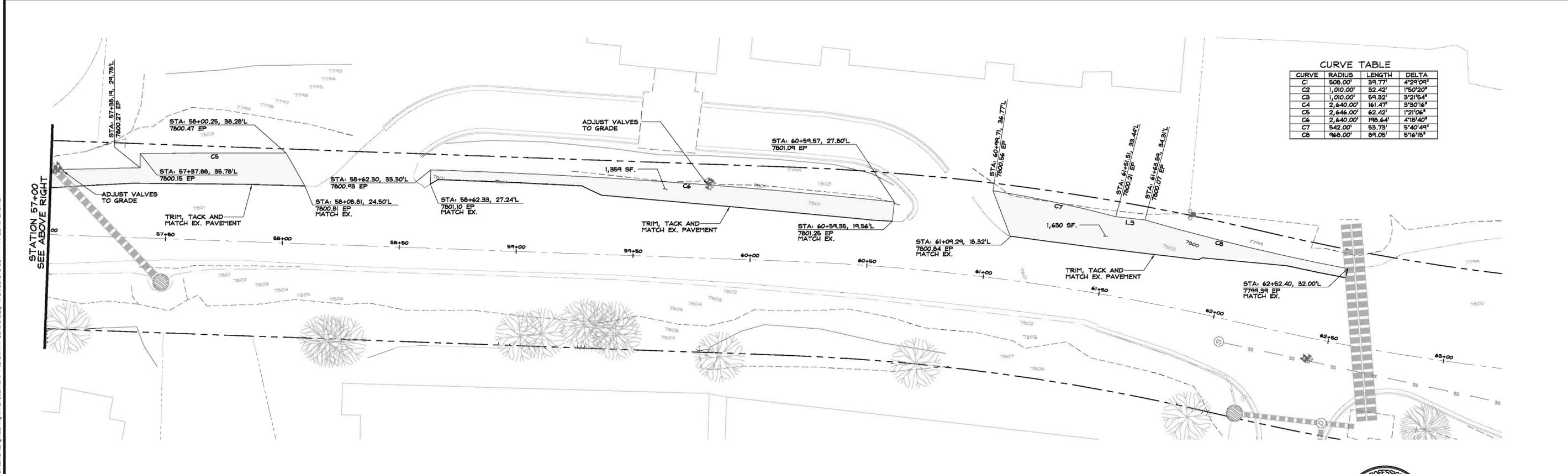
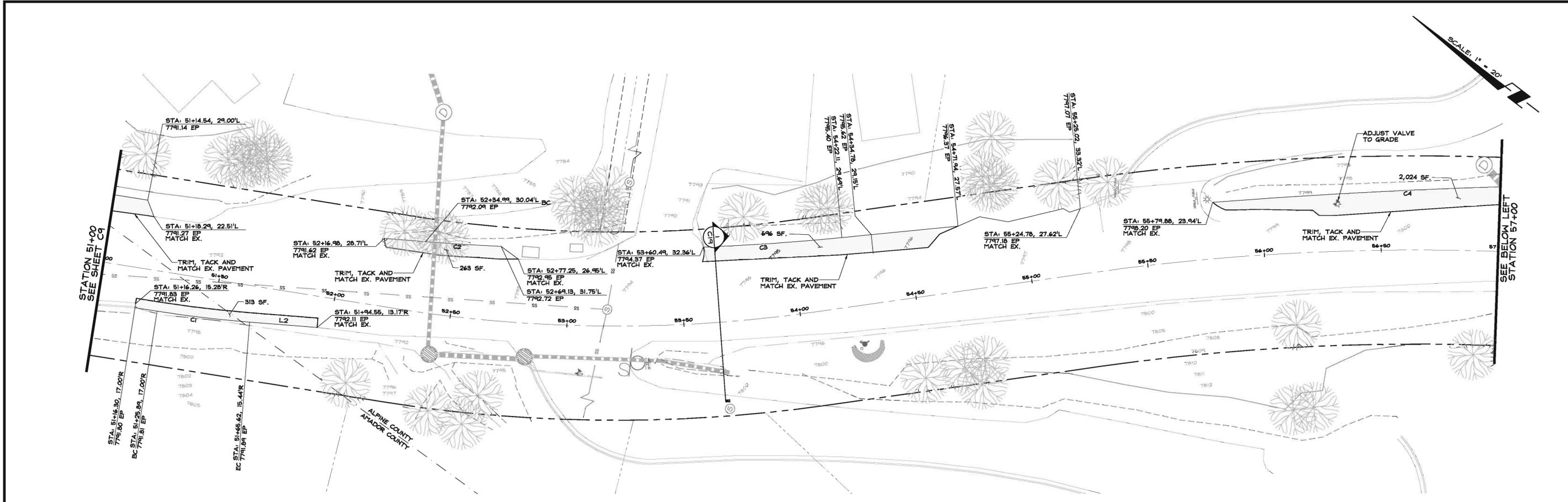
KIRKWOOD MEADOWS DRIVE IMPROVEMENTS
KIRKWOOD MOUNTAIN RESORT

SITE AND GRADING PLAN
STA: 39+00 TO STA: 51+00



DRAWN: JM	JOB: 1919-001
ENGINEER: ROA	DRAWING: 1919-00109
SCALE: 1" = 20'	SHEET: C9
DATE: 07/31/15	OF: 20 SHEETS

SCALE: 1" = 20'



NO.	DATE	REVISION	BLOCK	BY



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KIRKWOOD MEADOWS DRIVE IMPROVEMENTS
KIRKWOOD MOUNTAIN RESORT

SITE AND GRADING PLAN
 STA: 51+00 TO STA: 63+00



DRAWN:	JM	JOB:	1919-001
ENGINEER:	ROA	DRAWING:	1919-001C10
SCALE:	1" = 20'	SHEET:	C10
DATE:	07/31/15	OF: 20 SHEETS	

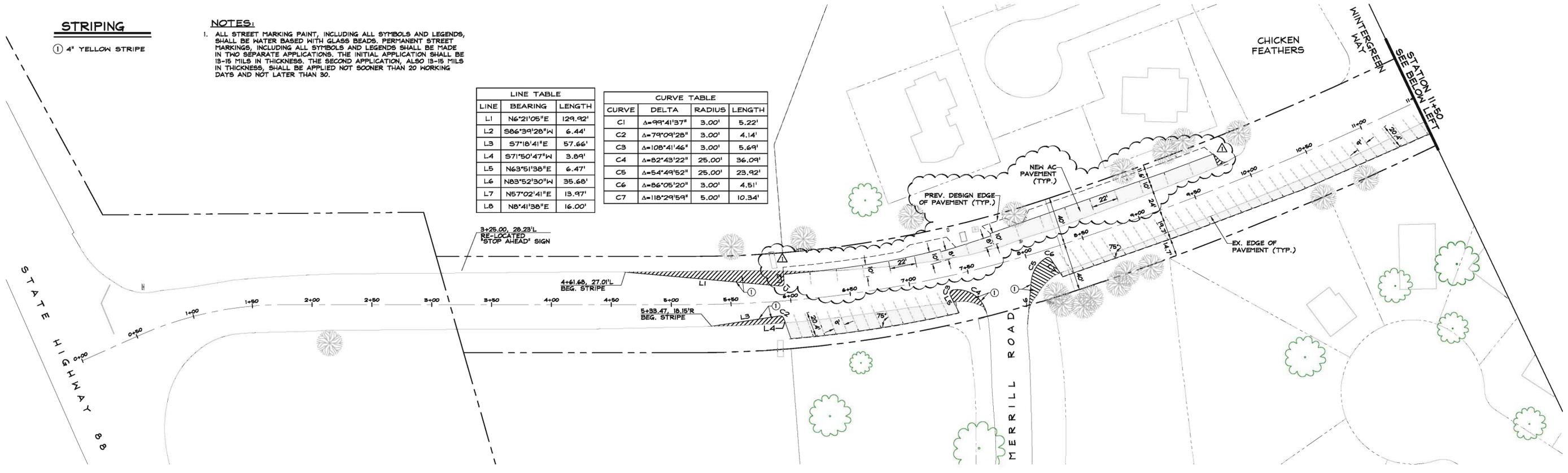
STRIPING

① 4" YELLOW STRIPE

NOTES:
 1. ALL STREET MARKING PAINT, INCLUDING ALL SYMBOLS AND LEGENDS, SHALL BE WATER BASED WITH GLASS BEADS. PERMANENT STREET MARKINGS, INCLUDING ALL SYMBOLS AND LEGENDS SHALL BE MADE IN TWO SEPARATE APPLICATIONS. THE INITIAL APPLICATION SHALL BE 13-15 MILS IN THICKNESS. THE SECOND APPLICATION, ALSO 13-15 MILS IN THICKNESS, SHALL BE APPLIED NOT SOONER THAN 20 WORKING DAYS AND NOT LATER THAN 30.

LINE TABLE			CURVE TABLE			
LINE	BEARING	LENGTH	CURVE	DELTA	RADIUS	LENGTH
L1	N6°21'05"E	129.92'	C1	Δ=99°41'37"	3.00'	5.22'
L2	S86°39'28"W	6.44'	C2	Δ=79°09'28"	3.00'	4.14'
L3	S7°18'41"E	57.66'	C3	Δ=108°41'46"	3.00'	5.69'
L4	S71°50'47"W	3.89'	C4	Δ=82°43'22"	25.00'	36.09'
L5	N63°51'38"E	6.47'	C5	Δ=54°49'52"	25.00'	23.92'
L6	N83°52'30"W	35.68'	C6	Δ=86°05'20"	3.00'	4.51'
L7	N57°02'41"E	13.97'	C7	Δ=118°29'59"	5.00'	10.34'
L8	N8°41'38"E	16.00'				

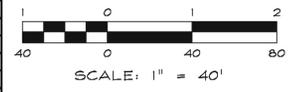
SCALE: 1" = 40'



SCALE: 1" = 40'



NO.	DATE	REVISION	BLOCK	BY
1	04/21/15	REVISE PARKING STALLS		JS
2	04/10/15	REVISE PARKING STALLS		JS



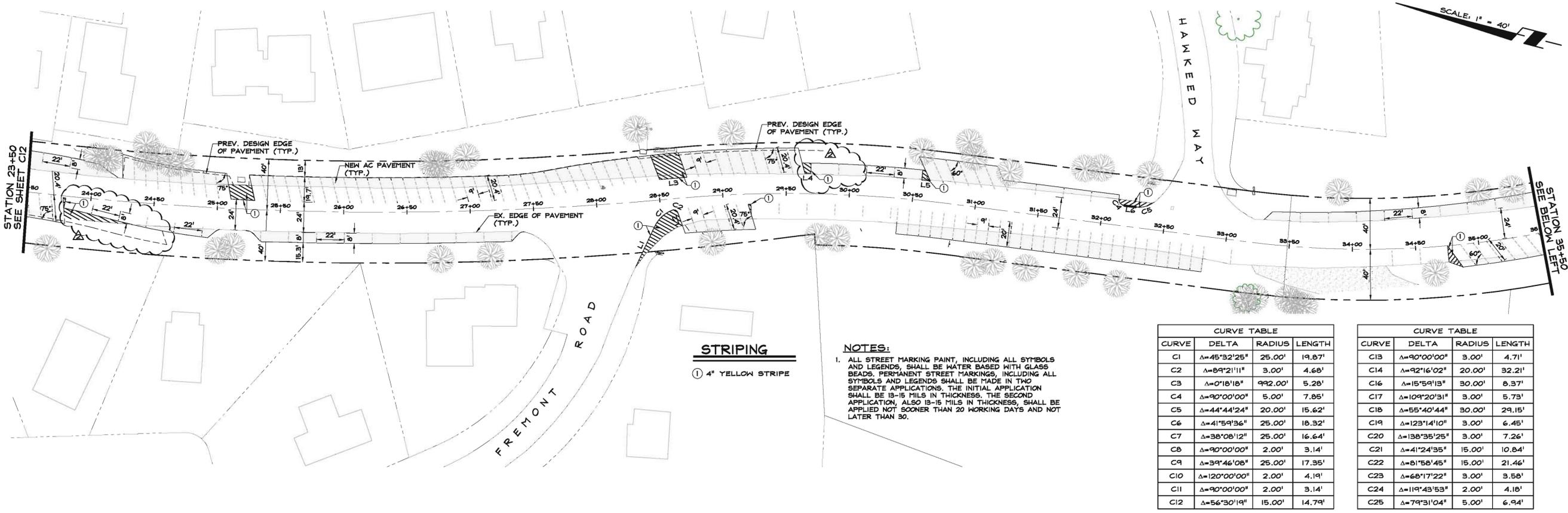
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 CALIFORNIA: 595 Tahoe Keys Blvd, Suite A-2, South Lake Tahoe, CA 96150
 PHONES: 775.782.2322 / 775.782.7084

KIRKWOOD MEADOWS DRIVE IMPROVEMENTS
KIRKWOOD MOUNTAIN RESORT

SIGNAGE AND STRIPING PLAN



DRAWN: JM/JS	JOB: 1919-001
ENGINEER: ROA	DRAWING: 1919-001C11
SCALE: 1" = 40'	SHEET: C11
DATE: 04/21/15	OF: 20 SHEETS

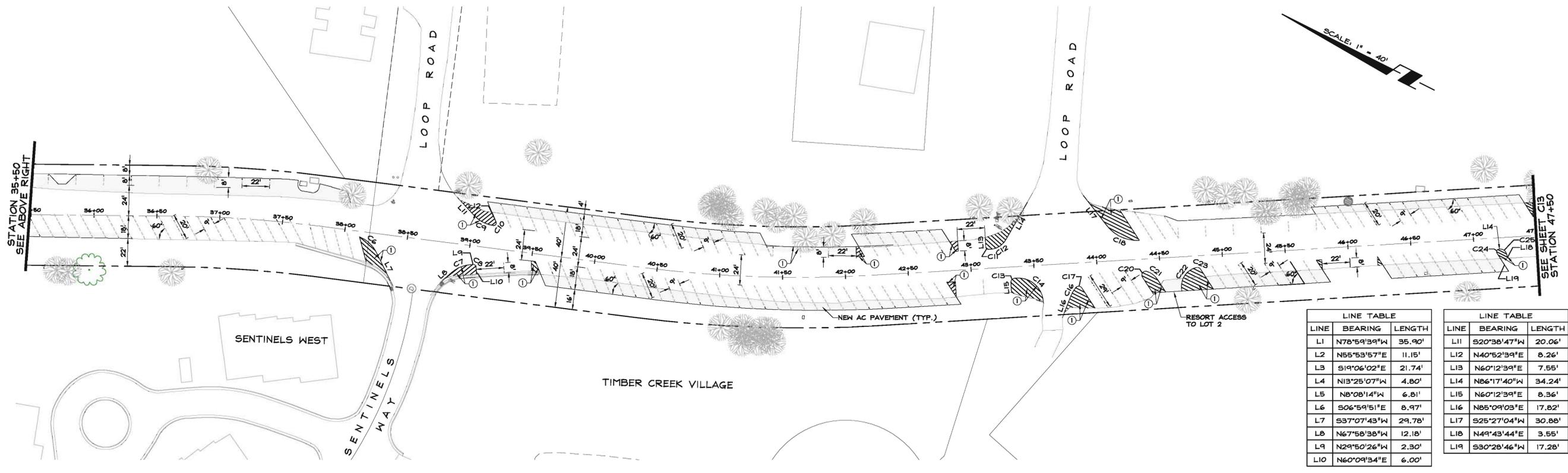


STRIPING
 ① 4" YELLOW STRIPE

NOTES:
 1. ALL STREET MARKING PAINT, INCLUDING ALL SYMBOLS AND LEGENDS, SHALL BE WATER BASED WITH GLASS BEADS. PERMANENT STREET MARKINGS, INCLUDING ALL SYMBOLS AND LEGENDS SHALL BE MADE IN TWO SEPARATE APPLICATIONS. THE INITIAL APPLICATION SHALL BE 15-15 MILS IN THICKNESS. THE SECOND APPLICATION, ALSO 15-15 MILS IN THICKNESS, SHALL BE APPLIED NOT SOONER THAN 20 WORKING DAYS AND NOT LATER THAN 30.

CURVE TABLE			
CURVE	DELTA	RADIUS	LENGTH
C1	Δ=45°32'25"	25.00'	19.87'
C2	Δ=89°21'11"	3.00'	4.68'
C3	Δ=0°18'18"	992.00'	5.28'
C4	Δ=90°00'00"	5.00'	7.85'
C5	Δ=44°44'24"	20.00'	15.62'
C6	Δ=41°59'36"	25.00'	18.32'
C7	Δ=38°08'12"	25.00'	16.64'
C8	Δ=90°00'00"	2.00'	3.14'
C9	Δ=39°46'08"	25.00'	17.35'
C10	Δ=120°00'00"	2.00'	4.19'
C11	Δ=90°00'00"	2.00'	3.14'
C12	Δ=56°30'19"	15.00'	14.79'

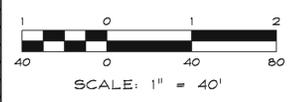
CURVE TABLE			
CURVE	DELTA	RADIUS	LENGTH
C13	Δ=90°00'00"	3.00'	4.71'
C14	Δ=92°16'02"	20.00'	32.21'
C16	Δ=15°59'13"	30.00'	8.37'
C17	Δ=109°20'31"	3.00'	5.73'
C18	Δ=55°40'44"	30.00'	29.15'
C19	Δ=123°14'10"	3.00'	6.45'
C20	Δ=138°35'25"	3.00'	7.26'
C21	Δ=41°24'35"	15.00'	10.84'
C22	Δ=81°58'45"	15.00'	21.46'
C23	Δ=68°17'22"	3.00'	3.58'
C24	Δ=119°43'53"	2.00'	4.18'
C25	Δ=79°31'04"	5.00'	6.94'



LINE TABLE		
LINE	BEARING	LENGTH
L1	N78°59'39"W	35.90'
L2	N55°53'57"E	11.15'
L3	S19°06'02"E	21.74'
L4	N13°25'07"W	4.80'
L5	N8°08'14"W	6.81'
L6	S06°59'51"E	8.97'
L7	S37°07'43"W	29.78'
L8	N67°58'38"W	12.18'
L9	N29°50'26"W	2.30'
L10	N60°09'34"E	6.00'

LINE TABLE		
LINE	BEARING	LENGTH
L11	S20°38'47"W	20.06'
L12	N40°52'39"E	8.26'
L13	N60°12'39"E	7.55'
L14	N86°17'40"W	34.24'
L15	N60°12'39"E	8.36'
L16	N85°09'03"E	17.82'
L17	S25°27'04"W	30.88'
L18	N49°43'44"E	3.55'
L19	S30°28'46"W	17.28'

NO.	DATE	REVISION	BLOCK	BY
1	04/21/15	REVISE PARKING STALLS		JS



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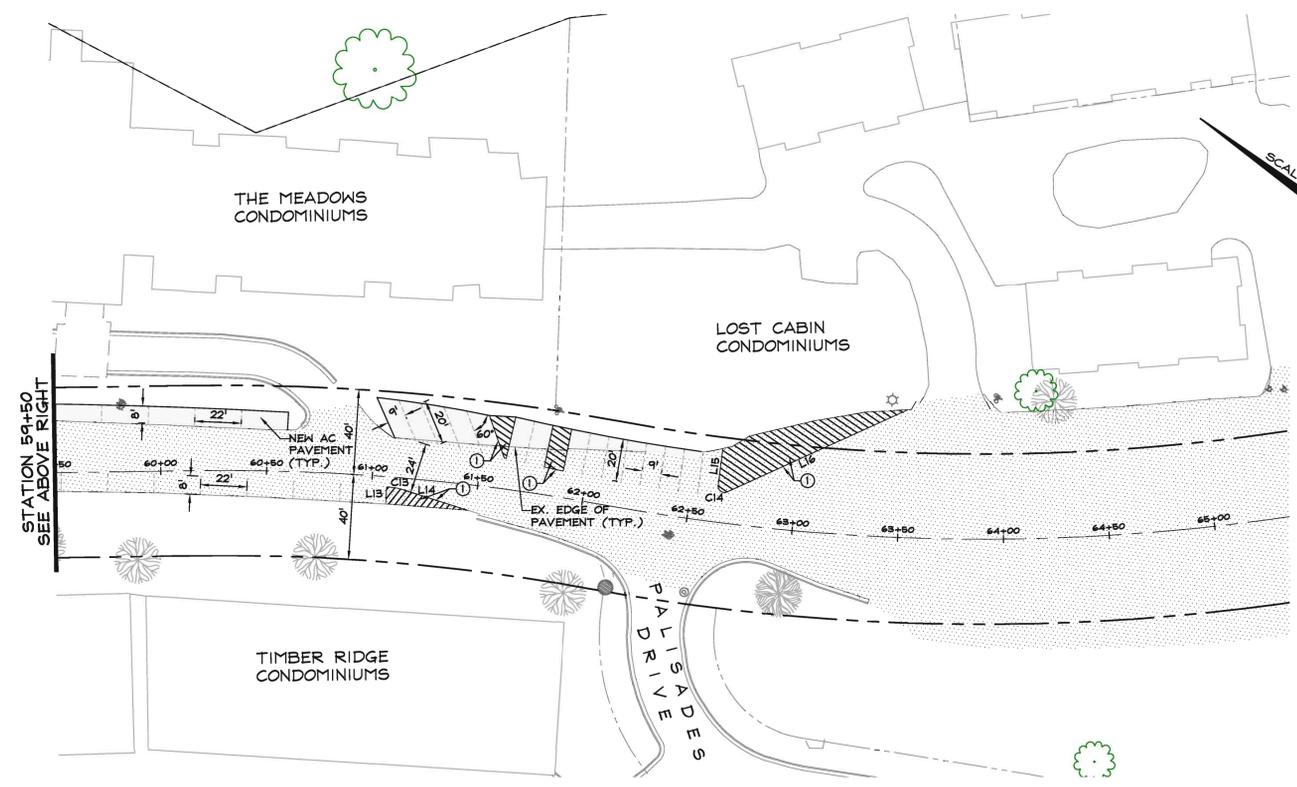
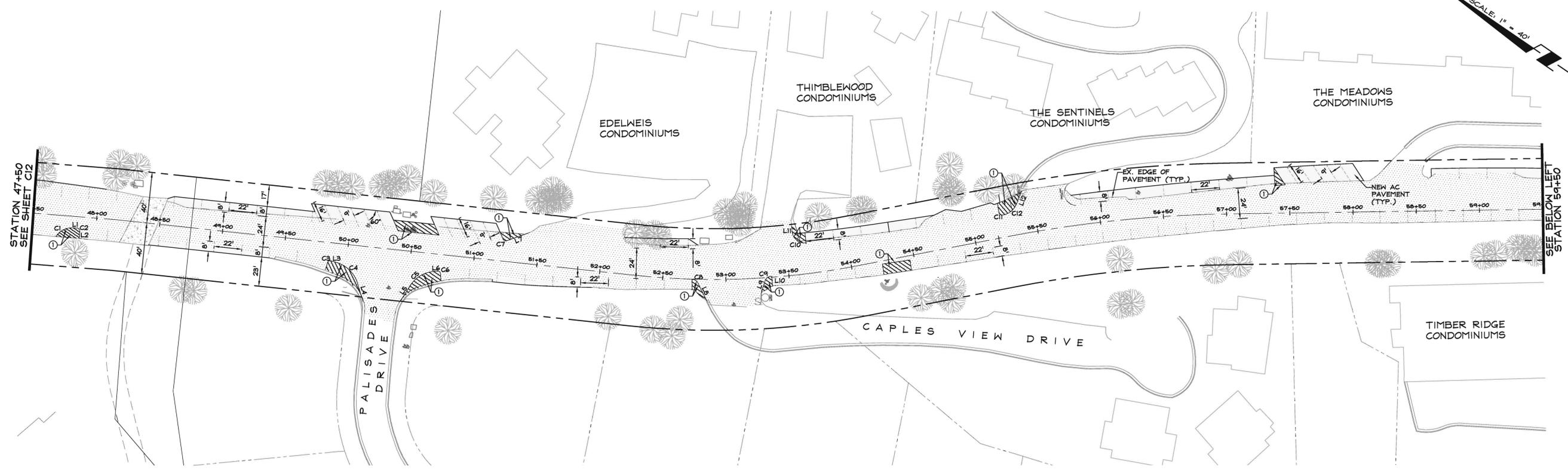
KIRKWOOD MEADOWS DRIVE IMPROVEMENTS
KIRKWOOD MOUNTAIN RESORT

SIGNAGE AND STRIPING PLAN



DRAWN: JM/JS	JOB: 1919-001
ENGINEER: ROA	DRAWING: 1919-001C12
SCALE: 1" = 40'	SHEET: C12
DATE: 04/21/15	OF: 20 SHEETS

SCALE: 1" = 40'



CURVE TABLE			
CURVE	RADIUS	LENGTH	DELTA
C1	15.00'	16.13'	61°36'42"
C2	2.00'	3.14'	90°00'00"
C3	2.00'	3.14'	90°00'00"
C4	25.00'	25.27'	57°55'18"
C5	25.00'	23.58'	54°02'54"
C6	2.00'	3.14'	90°00'00"
C7	2.00'	2.79'	79°50'25"
C8	5.00'	5.59'	64°05'07"
C9	5.00'	6.00'	68°42'22"
C10	10.00'	15.56'	89°10'59"
C11	3.00'	5.58'	112°53'53"
C12	15.00'	13.58'	50°13'06"
C13	25.00'	5.82'	13°20'05"
C14	3.00'	6.37'	121°37'44"

LINE TABLE		
CURVE	BEARING	LENGTH
L1	N29°47'21"W	3.27'
L2	N60°12'39"E	6.00'
L3	N16°19'08"E	4.45'
L4	N39°36'10"E	14.54'
L5	N87°55'04"E	14.10'
L6	S38°01'52"E	2.60'
L7	N53°30'37"W	18.26'
L8	N29°27'16"E	15.91'
L9	N73°14'44"E	9.73'
L10	S38°04'29"E	0.96'
L11	S49°27'56"W	4.10'
L12	S77°46'30"W	9.50'
L13	N29°57'52"W	1.69'
L14	N16°36'40"W	32.18'
L15	N63°03'55"E	17.40'
L16	N58°33'49"W	43.77'

STRIPING
 ① 4" YELLOW STRIPE

NOTES:
 1. ALL STREET MARKING PAINT, INCLUDING ALL SYMBOLS AND LEGENDS, SHALL BE WATER BASED WITH GLASS BEADS. PERMANENT STREET MARKINGS, INCLUDING ALL SYMBOLS AND LEGENDS SHALL BE MADE IN TWO SEPARATE APPLICATIONS. THE INITIAL APPLICATION SHALL BE 13-15 MILS IN THICKNESS. THE SECOND APPLICATION, ALSO 13-15 MILS IN THICKNESS, SHALL BE APPLIED NOT SOONER THAN 20 WORKING DAYS AND NOT LATER THAN 30.

T:\Client Files\1919-001\CAD\Engineering\Improvement_Plan\1919-001C13.dwg 7/31/2015 9:36:14 AM JWH:Shuman

NO.	DATE	REVISION	BLOCK	BY



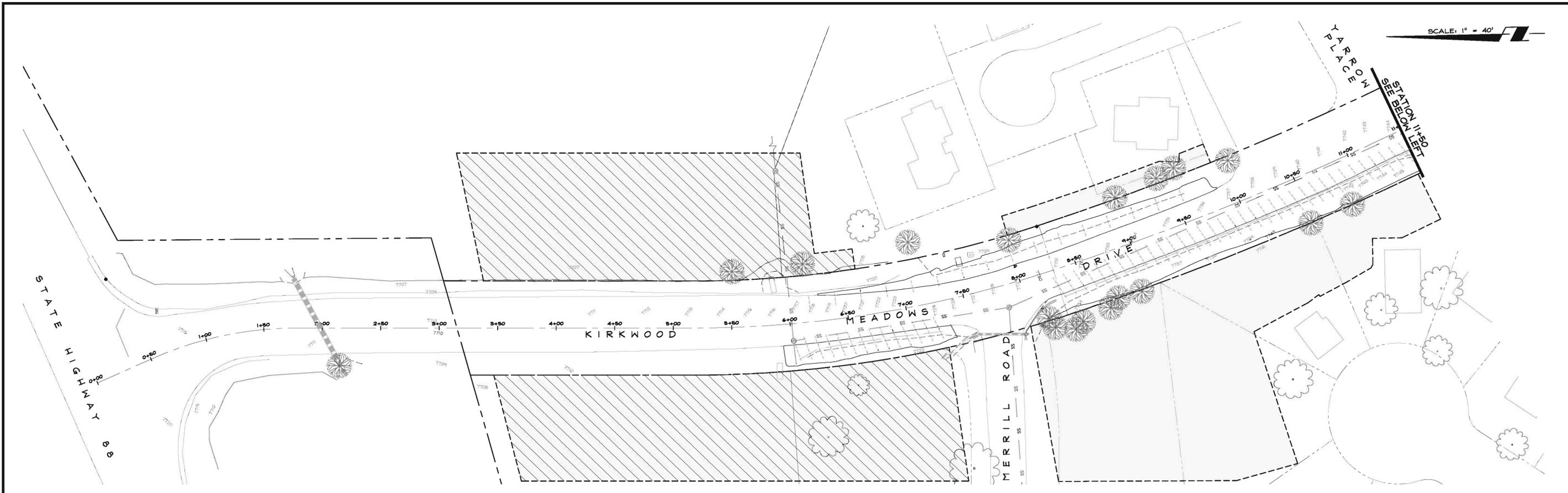
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 1623 Esmeralda Ave. Suite A-2
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 South Lake Tahoe, CA 96150
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**KIRKWOOD MEADOWS DRIVE IMPROVEMENTS
 KIRKWOOD MOUNTAIN RESORT**

**SIGNAGE
 AND
 STRIPING PLAN**



DRAWN: JM/JS	JOB: 1919-001
ENGINEER: ROA	DRAWING: 1919-001C13
SCALE: 1" = 40'	SHEET: C13
DATE: 07/31/15	OF: 20 SHEETS



NO.	DATE	REVISION	BLOCK	BY



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KIRKWOOD MEADOWS DRIVE IMPROVEMENTS
KIRKWOOD MOUNTAIN RESORT

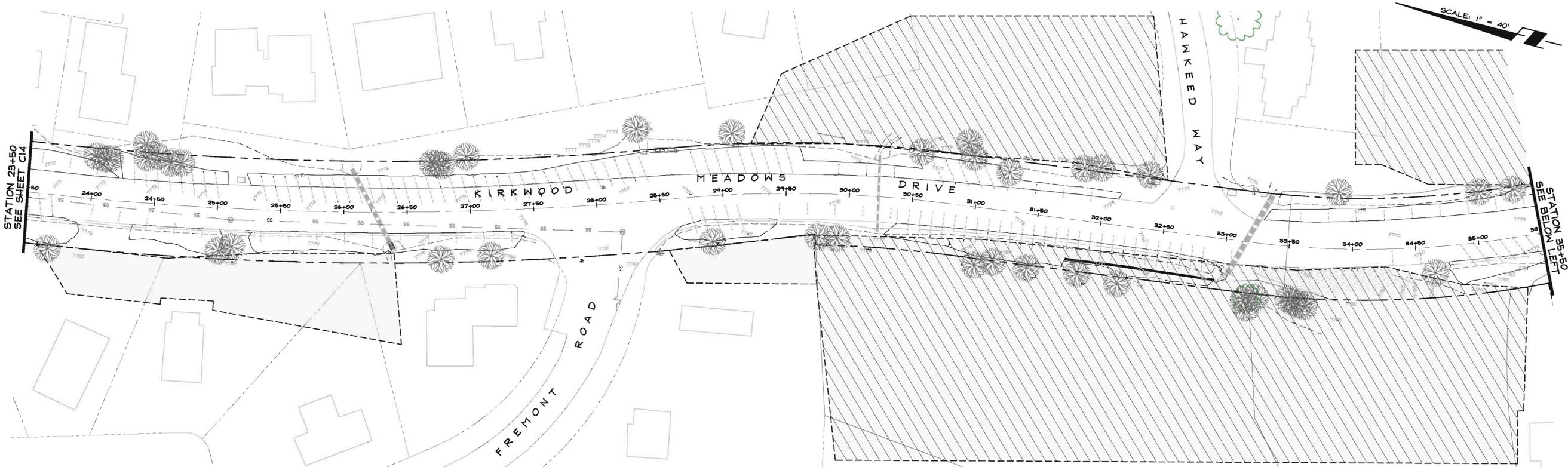
SNOW STORAGE PLAN



LEGEND

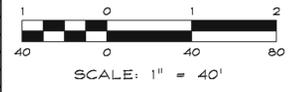
[Hatched Box]	SNOW STORAGE AREA
[Diagonal Hatched Box]	LARGE SNOW STORAGE AREA

DRAWN:	JM	JOB:	1919-001
ENGINEER:	ROA	DRAWING:	1919-001C14
SCALE:	1" = 40'	SHEET:	C14
DATE:	07/31/15	OF:	20 SHEETS



LEGEND
 [Hatched Box] SNOW STORAGE AREA
 [Diagonal Line Box] LARGE SNOW STORAGE AREA

NO.	DATE	REVISION	BLOCK	BY



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 T 775.782.7084 F 775.782.7084

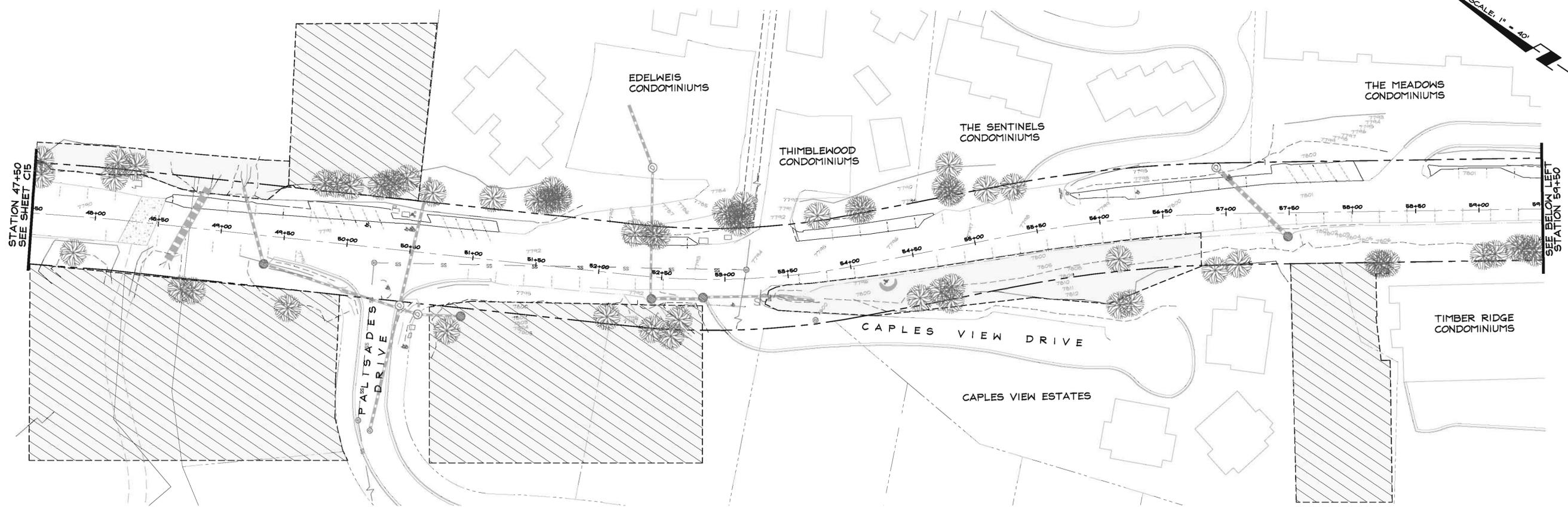
KIRKWOOD MEADOWS DRIVE IMPROVEMENTS
KIRKWOOD MOUNTAIN RESORT

SNOW STORAGE PLAN



DRAWN: JM	JOB: 1919-001
ENGINEER: ROA	DRAWING: 1919-001C15
SCALE: 1" = 40'	SHEET: C15
DATE: 07/31/15	OF: 20 SHEETS

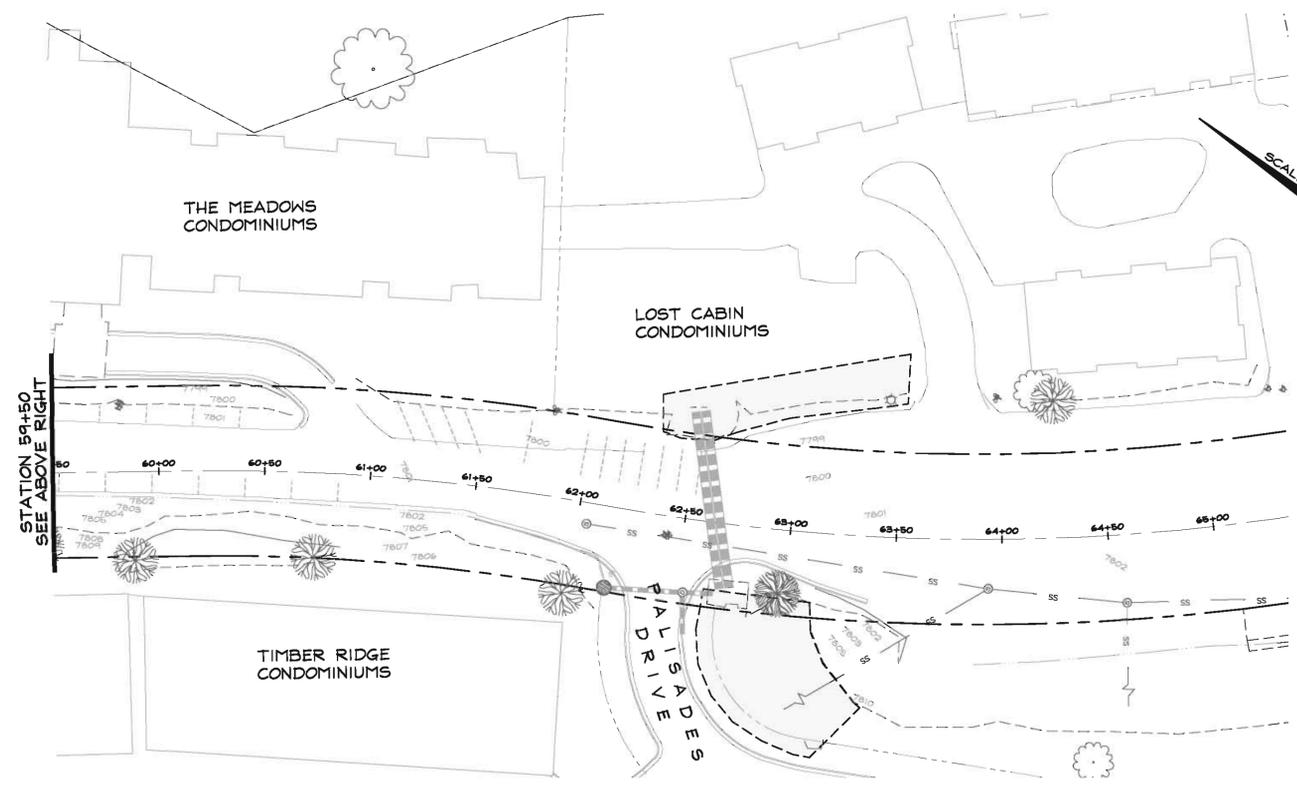
SCALE: 1" = 40'



STATION 47+50
SEE SHEET C15

SEE BELOW LEFT
STATION 59+50

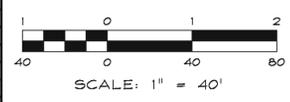
SCALE: 1" = 40'



STATION 59+50
SEE ABOVE RIGHT

- LEGEND**
- SNOW STORAGE AREA
 - LARGE SNOW STORAGE AREA

NO.	DATE	REVISION	BLOCK	BY



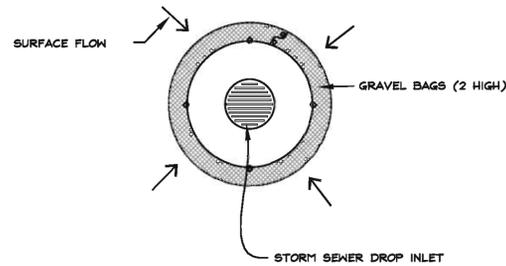
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KIRKWOOD MEADOWS DRIVE IMPROVEMENTS
KIRKWOOD MOUNTAIN RESORT

SNOW STORAGE PLAN



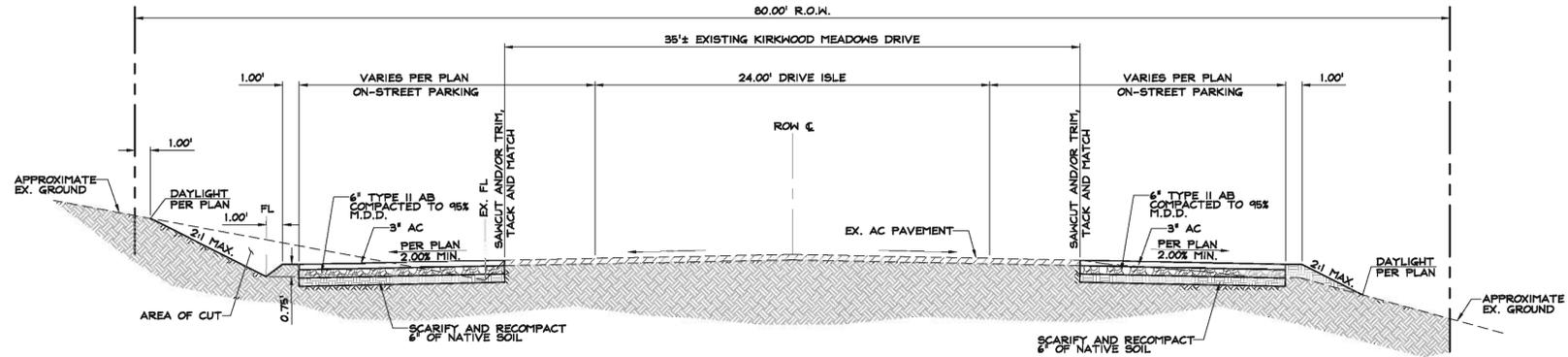
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ENGINEER:	ROA	DRAWING:	1919-001C16
SCALE:	1" = 40'	SHEET:	C16
DATE:	07/31/15	OF:	20 SHEETS



PLAN VIEW

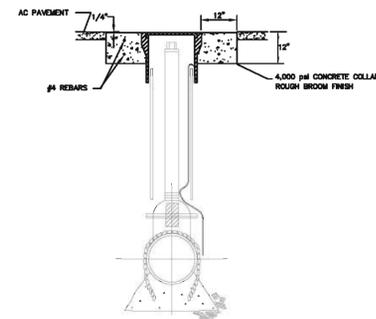
INLET PROTECTION

NOT TO SCALE



TYPICAL KIRKWOOD MEADOWS DRIVE SECTION

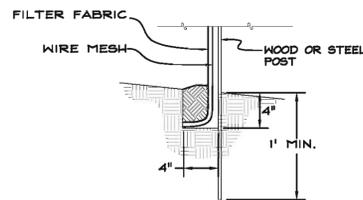
SCALE: 1" = 5'



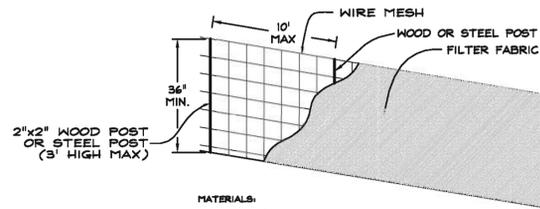
- NOTES:**
- CONTRACTOR TO REMOVE EXISTING CONCRETE COLLAR AND VALVE BOX.
 - NEW G-5 BOXES SHALL BE PROVIDED BY OWNER AND INSTALLED BY CONTRACTOR.

ADJUSTING VALVE TO GRADE DETAIL

NO SCALE



SECTION



ELEVATION

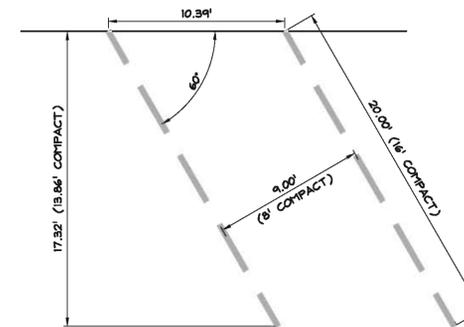
FILTER FENCE

NO SCALE

INSTALLATION NOTES:

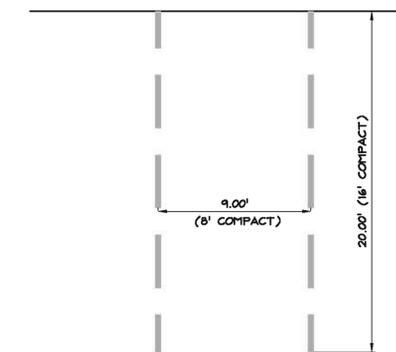
- EXCAVATE A TRENCH APPROXIMATELY 4" WIDE AND 4" DEEP ALONG PROPOSED FENCE ALIGNMENT.
- PLACE 2" BY 2" WOODEN STAKES IN TRENCH AS SHOWN A MAXIMUM OF 10-FT APART AND DRIVE THEM AT LEAST 12" INTO THE GROUND. THE STAKES MUST BE AT LEAST 48°.
- FASTEN WIRE MESH TO UPHILL SIDE OF POST WITH STAPLES (ON WOOD POSTS) OR WIRE (ON STEEL POSTS). EXTEND MESH TO BOTTOM OF TRENCH. (DO NOT ATTACH MESH OR FABRIC TO TREES.)
- LAY FABRIC ALONG BOTTOM OF TRENCH, AND THEN UP STAKES. SECURE THE FILTER FABRIC TO STAKES, USE HEAVY-DUTY WIRE STAPLES AT LEAST 1" LENGTH OR WIRE FOR STEEL POSTS, ON UP-HILL SIDE OF WIRE MESH.
- BACKFILL THE TRENCH WITH GRAVEL OR COMPACTED EARTH ALL THE WAY AROUND.
- IF THE FABRIC BECOMES CLOGGED, TORN, OR DEGRADES, IT SHOULD BE REPLACED. MAKE SURE THE STAKES ARE SECURELY DRIVEN IN THE GROUND AND ARE IN GOOD SHAPE (IE, NOT BENT, CRACKED, OR SPLINTERED, AND ARE REASONABLY PERPENDICULAR TO THE GROUND.) REPLACE DAMAGED STAKES.
- SEDIMENT THAT ACCUMULATES IN THE BMP MUST BE PERIODICALLY REMOVED IN ORDER TO MAINTAIN BMP EFFECTIVENESS. SEDIMENT SHOULD BE REMOVED WHEN THE SEDIMENT ACCUMULATION REACHES ONE-THIRD OF THE BARRIER HEIGHT. SEDIMENT REMOVED DURING MAINTENANCE SHALL BE DISPOSED AT AN APPROPRIATE LOCATION.

- MATERIALS:**
- FILTER FABRIC
 - 42" WIDE
 - TENSILE STRENGTH 120 LBS.
 - EQUIVALENT OPENING SIZE 70
- POSTS**
- 4" LONG (MIN.)
 - 2"x2" WOOD OR 1.5 LBS/FT. STEEL
 - EQUIVALENT OPENING SIZE 70
- WIRE MESH**
- 42" WIDE
 - 6" MESH MAX.
 - 14 GAUGE WIRE (MIN.)
- STAPLES (FOR WOOD POSTS)**
- HEAVY DUTY
 - 1" LONG (MIN.)
 - 14 GAUGE WIRE (MIN.)
- WIRE (FOR STEEL POSTS)**



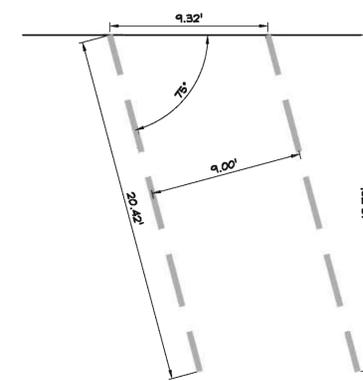
60° ANGLED PARKING STALL

SCALE: 1" = 5'



90° PARKING STALL

SCALE: 1" = 5'



75° ANGLED PARKING STALL

SCALE: 1" = 5'



PARALLEL PARKING STALL

SCALE: 1" = 5'

NO.	DATE	REVISION	BLOCK	BY
1	04/10/15	REVISE PARALLEL PARKING STALL WIDTH		JS

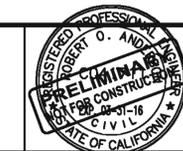
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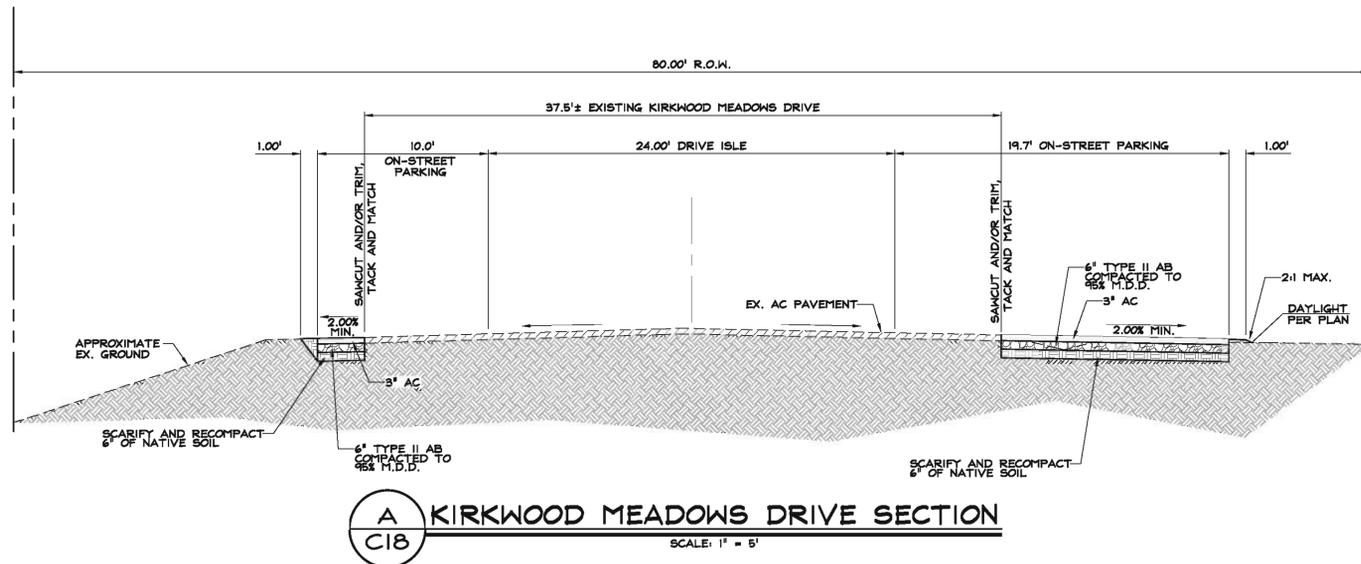
CALIFORNIA: 5995 Tahoe Keys Blvd, Suite A-2, South Lake Tahoe, CA 96150, P: 930.500.1660, F: 775.782.7084

KIRKWOOD MEADOWS DRIVE IMPROVEMENTS
KIRKWOOD MOUNTAIN RESORT

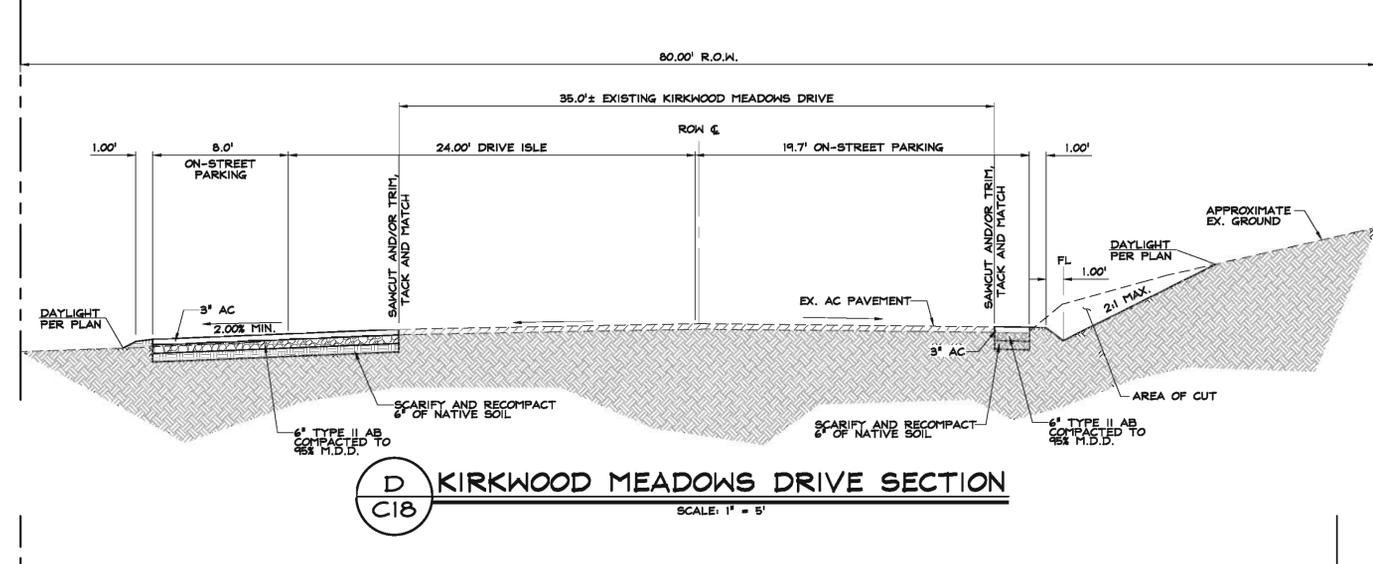
DETAILS



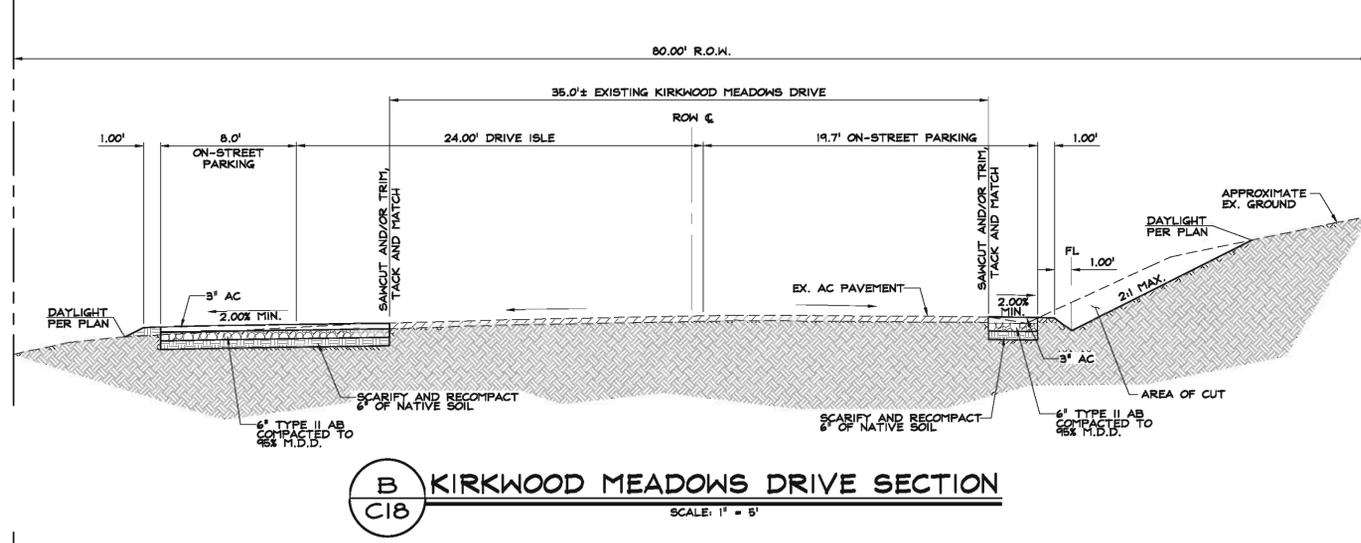
DRAWN: JM/JS	JOB: 1919-001
ENGINEER: ROA	DRAWING: SEE PLOT STAMP
SCALE: AS SHOWN	SHEET: C17
DATE: 07/31/15	OF: 20 SHEETS



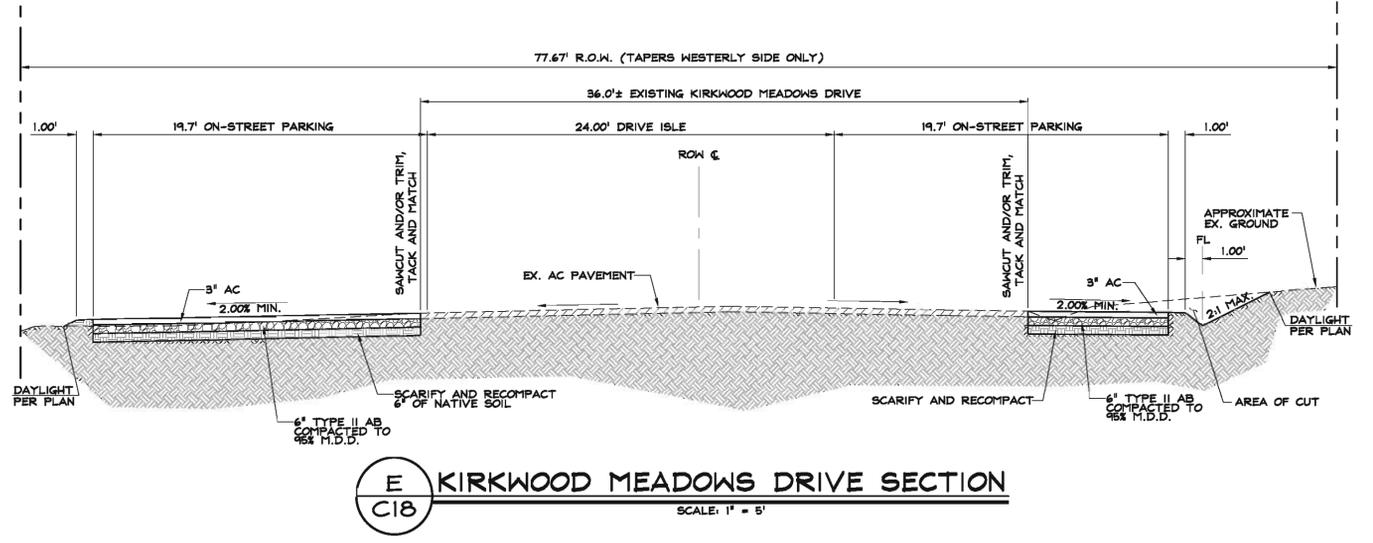
A KIRKWOOD MEADOWS DRIVE SECTION
C18 SCALE: 1" = 5'



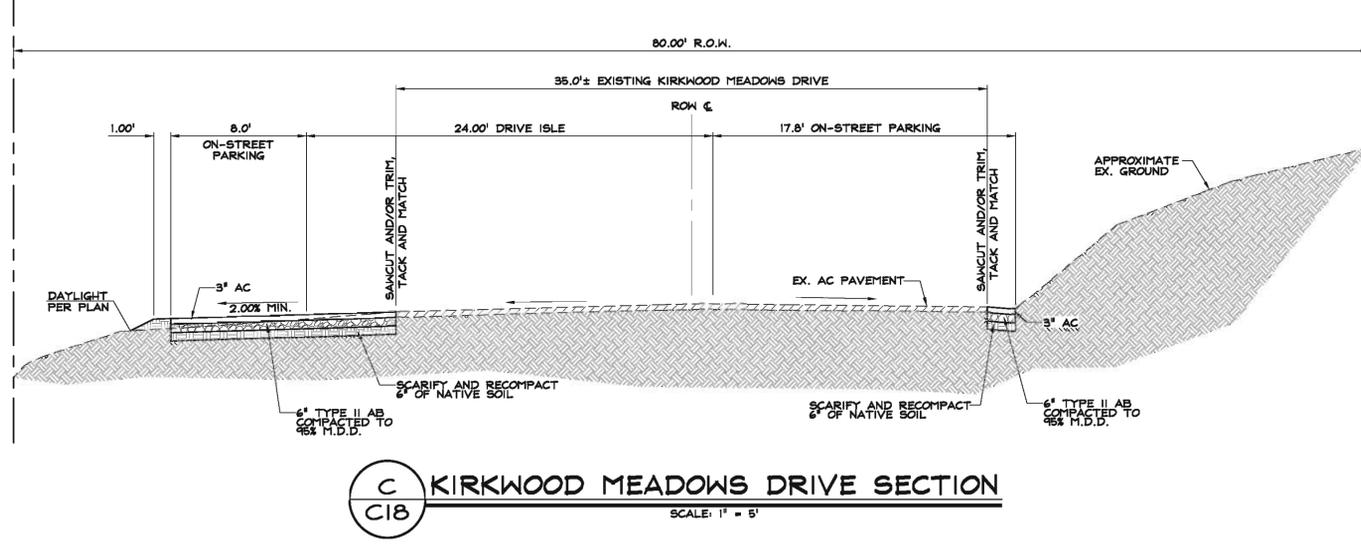
D KIRKWOOD MEADOWS DRIVE SECTION
C18 SCALE: 1" = 5'



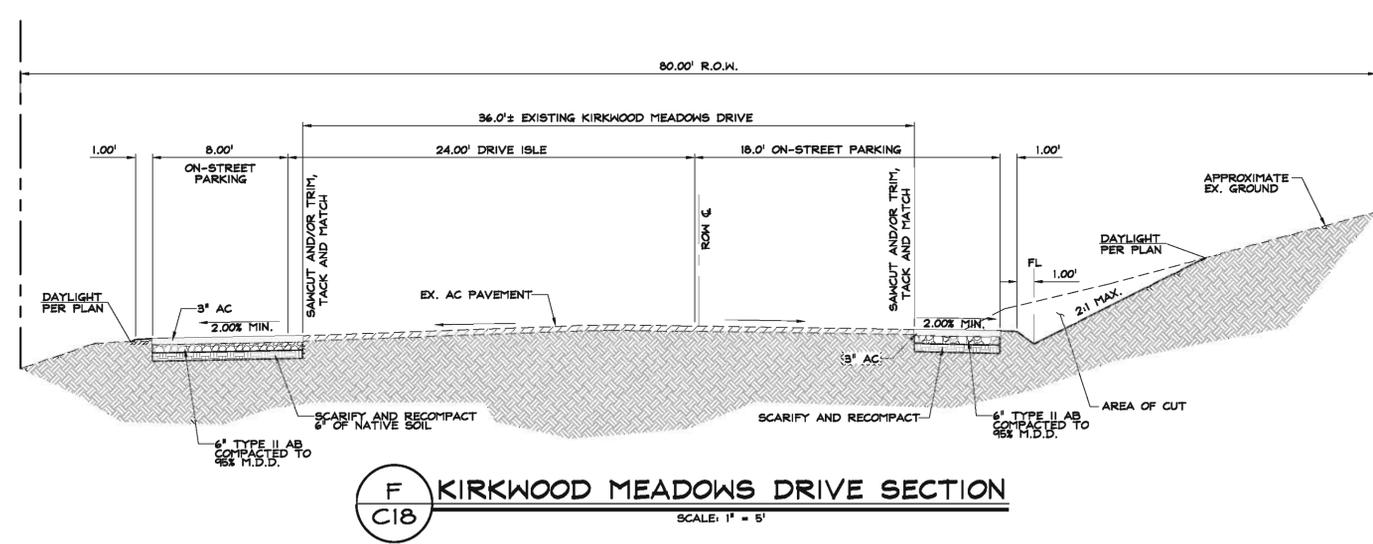
B KIRKWOOD MEADOWS DRIVE SECTION
C18 SCALE: 1" = 5'



E KIRKWOOD MEADOWS DRIVE SECTION
C18 SCALE: 1" = 5'



C KIRKWOOD MEADOWS DRIVE SECTION
C18 SCALE: 1" = 5'



F KIRKWOOD MEADOWS DRIVE SECTION
C18 SCALE: 1" = 5'

C:\Users\jthomas\OneDrive\Documents\Projects\Kirkwood\Kirkwood-0218.dwg, 7/31/2015, 6:08:18 AM, jthomas

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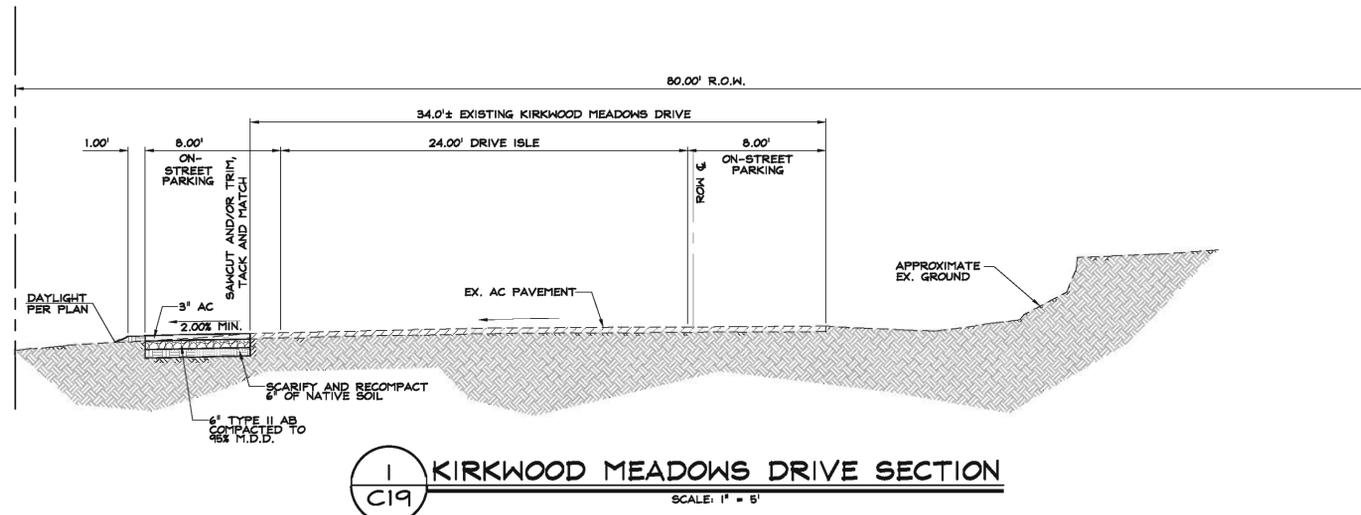
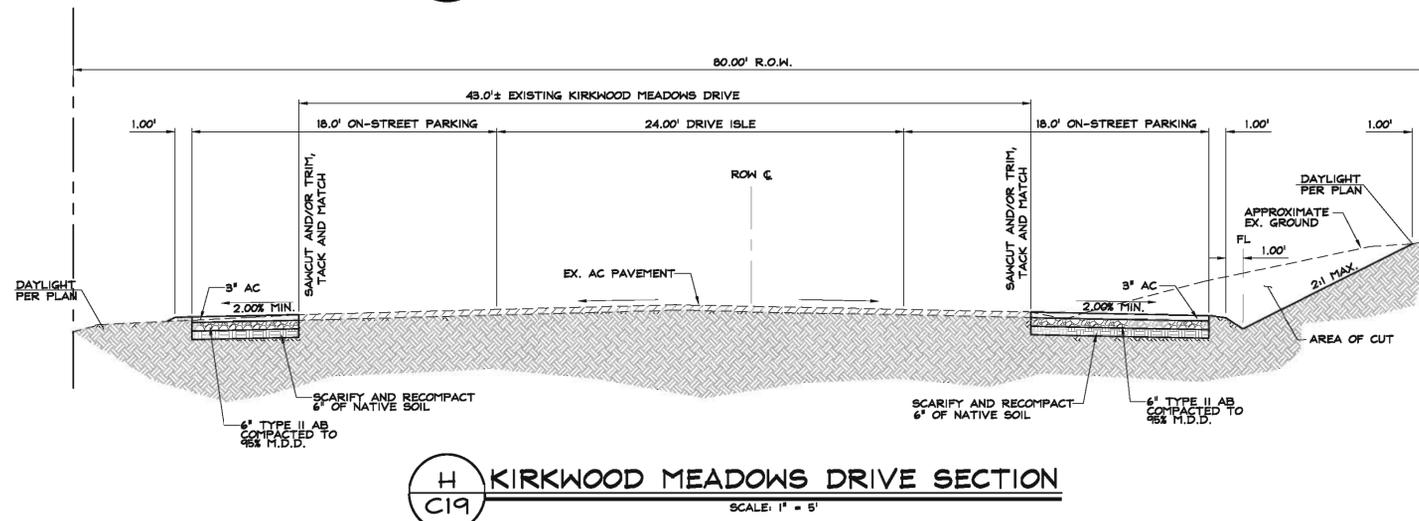
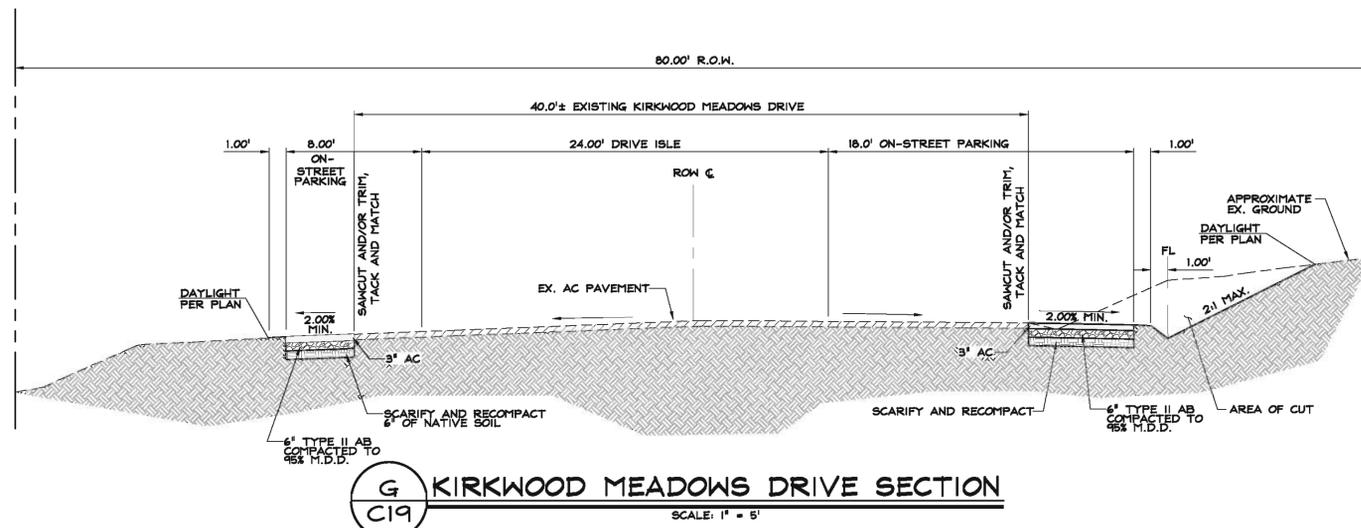
NEVADA: 1603 Emerald Ave. Henderson, NV 89123
 CALIFORNIA: 599 Tahoe Keys Blvd. Suite A-2 South Lake Tahoe, CA 96150

KIRKWOOD MEADOWS DRIVE IMPROVEMENTS
KIRKWOOD MOUNTAIN RESORT

DETAILS



DRAWN:	JS	JOB:	1919-001
ENGINEER:	ROA	DRAWING:	SEE PLOT STAMP
SCALE:	AS SHOWN	SHEET:	C18
DATE:	07/31/15	OF:	20 SHEETS



NO.	DATE	REVISION	BLOCK	BY

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KIRKWOOD MEADOWS DRIVE IMPROVEMENTS
KIRKWOOD MOUNTAIN RESORT

DETAILS



DRAWN:	JS	JOB:	1919-001
ENGINEER:	ROA	DRAWING:	SEE PLOT STAMP
SCALE:	AS SHOWN	SHEET:	C19
DATE:	07/31/15	OF:	20 SHEETS



Julie Saylor <julie.saylor@edcgov.us>

Fwd: The Kirkwood Employee Housing Credit Scheme

1 message

Aaron Mount <aaron.mount@edcgov.us>
To: Julie Saylor <julie.saylor@edcgov.us>

Thu, Jul 23, 2015 at 2:40 PM

Below is an item for the next scheduled Kirkwood Tri-Tac (August 7th).

Aaron Mount
Associate Planner

County of El Dorado
Community Development Agency
Planning Services
2850 Fairlane Court
Placerville, CA 95667
(530) 621-5355 / FAX (530) 642-0508
aaron.mount@edcgov.us

----- Forwarded message -----

From: **Andrew Chandler** <andrewmachandler@msn.com>
Date: Thu, Jul 23, 2015 at 8:44 AM
Subject: The Kirkwood Employee Housing Credit Scheme
To: "aaron.mount@edcgov.us" <aaron.mount@edcgov.us>, "sgrijalva@amadorgov.org" <sgrijalva@amadorgov.org>, "bpeters@alpinecountyca.gov" <bpeters@alpinecountyca.gov>
Cc: "zwood@alpinecountyca.gov" <zwood@alpinecountyca.gov>, "zach@alpinecountyca.gov" <zach@alpinecountyca.gov>, "nlishman@amadorgov.org" <nlishman@amadorgov.org>, "handerson@amadorgov.org" <handerson@amadorgov.org>, "pierre.rivas@edcgov.us" <pierre.rivas@edcgov.us>, "msharp@kmpud.com" <msharp@kmpud.com>, "cblann@vailresorts.com" <cblann@vailresorts.com>, "gstahl@elevatedpm.com" <gstahl@elevatedpm.com>, "jreiter@kirkwoodcp.com" <jreiter@kirkwoodcp.com>, "nwhaley@kirkwoodcp.com" <nwhaley@kirkwoodcp.com>

VIA EMAIL (If this email formats incorrectly on your device, please see attached Facsimile of Letter)

Mr Aaron Mount
Associate Planner, County of El Dorado

Ms Susan Grijalva
Planning Director, Amador County

Mr Brian Peters
Director of Community Development, Alpine County

CC: Mr Zach Wood (Alpine County Community Development)
Mr Nathan Lishman (Amador County Planning)
Ms Heather Anderson (Amador County Planning)
Mr Pierre Rivas (El Dorado County Planning Services)
Mr Michael Sharpe (KMPUD)
Mr Casey Blann (Vail Resorts)
Mr George Stahl (KCA)

Mr John Reiter (Kirkwood Capital Partners)
Mr Nate Whaley (Kirkwood Capital Partners)

Dear Mr Mount, Ms Grijalva and Mr Peters:

Further to our telephone conversations and my recent email to Ms Grijalva, I am requesting that the Chairman (Mr Mount) consider placing the following on the agenda for the next TC-TAC meeting.

The issue concerns the market in the sale of Credits to developers, in order to meet their Project Specific Requirement, by Kirkwood Mountain Resort (KMR, now Kirkwood Capital Partners, KCP), under the Kirkwood Specific Plan Employee Housing Ordinances. It concerns the Credits that originated from the Renwick Apartments (Amador County) and Red Cliffs (Alpine County) and the status of those Credits following the sale of these structures to Vail Resorts in 2012.

The money involved is definitely not chump change. Assuming a market value of \$60,000 per Credit and a total 134 Credits available (38 from Renwick and 96 from Red Cliffs) these 2 structures are "worth" \$8,040,000 in Credits. According to the 2011-12 employee housing audit submitted by KMR, and using the above valuation methodology, 58.2 Credits (22 from Renwick and 36.2 from Red Cliffs) "worth" \$3,492,000 had been placed either under Formal Restriction (Renwick) or Deemed Restriction (Red Cliffs).

A Formal Restriction presumably requires that a Declaration of Employee Housing Covenants and Restrictions (see Employee Housing Ordinance §4.A) be formally recorded against Renwick. (Otherwise what does the term Formal Restriction mean?) The following research will show that only 13.0 out of 22.0 Renwick Formal Restrictions were ever recorded by KMR.

An *unrecorded*-Formal Restriction on Renwick would presumably be "in the same boat" as the (less secure) Deemed Restrictions on Red Cliffs. A third-party buying these structures *without notice of the restrictions* may not be bound by them. And if a restriction has not survived the transfer of the real estate, what is the status of its corresponding Credit?

This is just an hypothesis, but a buyer without notice of any (non-recorded) restrictions placed on a building would obviously be willing to pay more for that building; the seller might have profited once by the sale of restrictions/Credits and a second time by the higher sales price achieved. And then the buyer might even be able to sell the same restrictions over again!

Our project, Sentinels West, purchased 4.0 employee housing Credits from KMR (3.6 were paid-in-full, payment for 0.4 was deferred by mutual agreement). Spreadsheets prepared by KMR for TC-TAC employee housing audits in 2008-9, 2010-11 and 2011-12 (included as attachments) all indicate that these Credits were to come from Renwick. According to the aforementioned 2010-11 and 2011-12 Audits, the Formal Restrictions placed on Renwick are as follows:

<u>Project</u>	<u>Formal Restrictions</u>	<u>Committed</u>
Palisades III-V (KCP project)	8.0	
Palisades VI-A (KCP project)	3.0	
Meadowstone	6.0	
Sentinels West	3.0	2.1
Caples View	<u>2.0</u>	

Total 22.0

A search on Renwick, executed by First American Title, revealed the following recorded Declarations of Employee Housing Covenants and Restrictions:

Date	Recorded Document ID	Apartment	Bedrooms	Recorded by
2/16/06	DocID-2006.1969	A-4	2.0	Likins
2/16/06	DocID-2006.1970	A-3	2.0	Likins
11/2/07	DocID-2007.11854	A-8	2.0	Likins
12/5/08	DocID-2009.1811	C-22	2.0	Whaley
3/6/09	DocID-2009.1830	A-5	2.0	Whaley
3/6/09	DocID-2009.1831	B-10	1.0	Whaley
12/4/09	DocID-2009.10249	C-19	2.0	Whaley
			13.0	

As there are not enough *recorded*-Formal Restrictions to go round, the one-million-three-hundred-and-twenty-thousand dollar (= \$60,000 * 22) question is, which restricted Renwick apartment cross-references which project? KMR/KCP has not, yet, been able to provide us with an answer. What happened to the Credits generated from the unlucky *unrecorded*-Formal Restrictions and Deemed Restrictions following the sale of Renwick and Red Cliffs to Vail Resorts? Further, KCP has told Sentinels West that it has a "license" (in layman's terms "permission") to continue to place Committed Restrictions on this real estate, notwithstanding the fact that it no longer owns it! Our understanding is that Vail Resorts think otherwise. Both cannot be right.

The only document that we have been able to locate that cross-references Renwick apartment numbers with projects is a 2008 letter written by Mr Nate Whaley to Mr Peter Maurer (Principal Planner, El Dorado County) concerning the Meadowstone Project. The full document is attached (as Renwick C-22), an extract follows:

[Quote] ... I am submitting this application to transfer 2 employee housing "credits" currently in place on Meadowstone #212 to the 2-bedroom Renwick C-22 for consideration at the December TC-TAC meeting. This transfer **would** mimic similar 2-credit transfers previously approved by TC-TAC from Meadowstone 213 and 214 to Renwick C-23 and C-24 ... [End Quote]

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against Renwick. What happened to the 4.0 deed restrictions (worth \$240,000 at \$60,000 per Credit) that were previously on Meadowstone #213 and #214? According to the title search, there are no employee housing deed restrictions recorded against Renwick Apartments C-23 and C-24.

Members of TC-TAC, our two Sentinels projects (Sentinels and Sentinels West) have made *bona fide* attempts to comply with the Alpine and Amador County Employee Housing Ordinances. There is no language in the Ordinances that required us to obtain a cross-referenced recorded document or apartment number following the purchase of a Credit. Indeed, in the case of Deemed Restrictions I understand that there *are no* recorded documents and there *are no* apartment numbers.

Further, the Counties allowed KMR to transfer restrictions from one project to another, as happened when all the Credits originating from the Youth Hostel were transferred to Red Cliffs following a change in zoning around 2009, here is a quote from TC-TAC minutes:

[Quote] ... Prior to issuance of this Use Permit, all project specific employee housing units previously allocated ("deemed restricted" in accordance with the 2008/2009 Kirkwood Employee Housing Audit) to the Youth Hostel project must be reallocated as required pursuant to [the Ordinance]. THE AMADOR COUNTY PLANNING DEPARTMENT SHALL MONITOR THIS REQUIREMENT ... [End Quote]

How can projects be expected to keep track of which building and which apartment number their Credits originated from, when the Counties were allowing KMR to "re-shuffle the deck"! The Sentinels project paid for 3.0 Credits, 2.6 of which were first assigned to the Youth Hostel and later transferred to Red Cliffs (we do not know what happened to the remaining 0.4 but Sentinels West would now like to utilize that partial Credit).

How are projects supposed to prove to Amador and Alpine that they have satisfied the Ordinances? How can the owners of Meadowstone #213 and #214 now prove this? How can any of the other projects who paid for Credits? The market in the sale of Credits was going on under the supervision of TC-TAC. The latest 2014-15 Audit (attached) makes reference to, but omits, the crucial Checkbook spreadsheet, the only document that I have found that purports to keep track of circa \$8,000,000 in total Credits!

In conclusion, what is essential now for the survival of Sentinels West is to have certainty going forward. If all this ends up in the legal system, Sentinels West will almost certainly not be around at its conclusion! We are asking the Tri-Counties to issue joint formal rulings that recognize the validity of Credits purchased in good faith and for valuable consideration by projects under this scheme.

Specifically, in the case of our two projects, Sentinels and Sentinels West, we are asking for rulings from Alpine and Amador Counties that recognize the validity of 6.6 Credits, 3.0 purchased in good faith for \$150,000 by Sentinels and 3.6 purchased in good faith for \$221,150 by Sentinels West.

Respectfully submitted,

Andrew Chandler

7/30/2015

Edcgov.us Mail - Fwd: The Kirkwood Employee Housing Credit Scheme

Sentinels West LLC
801 243 9405

Alan Fleming
Sentinels at Kirkwood
Sentinels West LLC
970 209 1199

6 attachments

 **Facsimile of Letter.pdf**
111K

 **Renwick C-22.pdf**
460K

 **Audit 2008-9.pdf**
1143K

 **Audit 2010-11.pdf**
543K

 **Audit 2011-12.pdf**
583K

 **Audit 2014-15.pdf**
272K

Mr Aaron Mount
Associate Planner, County of El Dorado

Ms Susan Grijalva
Planning Director, Amador County

Mr Brian Peters
Director of Community Development, Alpine County

CC: Mr Zach Wood (Alpine County Community Development)
Mr Nathan Lishman (Amador County Planning)
Ms Heather Anderson (Amador County Planning)
Mr Pierre Rivas (El Dorado County Planning Services)
Mr Michael Sharpe (KMPUD)
Mr Casey Blann (Vail Resorts)
Mr George Stahl (KCA)
Mr John Reiter (Kirkwood Capital Partners)
Mr Nate Whaley (Kirkwood Capital Partners)

Dear Mr Mount, Ms Grijalva and Mr Peters:

Further to our telephone conversations and my recent email to Ms Grijalva, I am requesting that the Chairman (Mr Mount) consider placing the following on the agenda for the next TC-TAC meeting.

The issue concerns the market in the sale of Credits to developers, in order to meet their Project Specific Requirement, by Kirkwood Mountain Resort (KMR, now Kirkwood Capital Partners, KCP), under the Kirkwood Specific Plan Employee Housing Ordinances. It concerns the Credits that originated from the Renwick Apartments (Amador County) and Red Cliffs (Alpine County) and the status of those Credits following the sale of these structures to Vail Resorts in 2012.

The money involved is definitely not chump change. Assuming a market value of \$60,000 per Credit and a total 134 Credits available (38 from Renwick and 96 from Red Cliffs) these 2 structures are "worth" \$8,040,000 in Credits. According to the 2011-12 employee housing audit submitted by KMR, and using the above valuation methodology, 58.2 Credits (22 from Renwick and 36.2 from Red Cliffs) "worth" \$3,492,000 had been placed either under Formal Restriction (Renwick) or Deemed Restriction (Red Cliffs).

A Formal Restriction presumably requires that a Declaration of Employee Housing Covenants and Restrictions (see Employee Housing Ordinance §4.A) be formally recorded against Renwick. (Otherwise what does the term Formal Restriction mean?) The following research will show that only 13.0 out of 22.0 Renwick Formal Restrictions were ever recorded by KMR.

An *unrecorded*-Formal Restriction on Renwick would presumably be "in the same boat" as the (less secure) Deemed Restrictions on Red Cliffs. A third-party buying these structures *without notice of the restrictions* may not be bound by them. And if a restriction has not survived the transfer of the real estate, what is the status of its corresponding Credit?

This is just an hypothesis, but a buyer without notice of any (non-recorded) restrictions placed on a building would obviously be willing to pay more for that building; the seller might have profited once by the sale of restrictions/Credits and a second time by the higher sales price achieved. And then the buyer might even be able to sell the same restrictions over again!

Our project, Sentinels West, purchased 4.0 employee housing Credits from KMR (3.6 were paid-in-full, payment for 0.4 was deferred by mutual agreement). Spreadsheets prepared by KMR for TC-TAC employee housing audits in 2008-9, 2010-11 and 2011-12 (included as attachments) all indicate that these Credits were to come from Renwick. According to the aforementioned 2010-11 and 2011-12 Audits, the Formal Restrictions placed on Renwick are as follows:

<u>Project</u>	<u>Formal Restrictions</u>	<u>Committed</u>
Palisades III-V (KCP project)	8.0	
Palisades VI-A (KCP project)	3.0	
Meadowstone	6.0	
Sentinels West	3.0	2.1
Caples View	<u>2.0</u>	
	Total	22.0

A search on Renwick, executed by First American Title, revealed the following recorded Declarations of Employee Housing Covenants and Restrictions:

Date	Recorded Document ID	Apartment	Bedrooms	Recorded by
2/16/06	DocID-2006.1969	A-4	2.0	Likins
2/16/06	DocID-2006.1970	A-3	2.0	Likins
11/2/07	DocID-2007.11854	A-8	2.0	Likins
12/5/08	DocID-2009.1811	C-22	2.0	Whaley
3/6/09	DocID-2009.1830	A-5	2.0	Whaley
3/6/09	DocID-2009.1831	B-10	1.0	Whaley
12/4/09	DocID-2009.10249	C-19	2.0	Whaley
			13.0	

As there are not enough *recorded*-Formal Restrictions to go round, the one-million-three-hundred-and-twenty-thousand dollar (= \$60,000 * 22) question is, which restricted Renwick apartment cross-references which project? KMR/KCP has not, yet, been able

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Respectfully submitted,

Andrew Chandler
Sentinels West LLC
801 243 9405

Alan Fleming
Sentinels at Kirkwood
Sentinels West LLC
970 209 1199

November 21, 2008

VIA EMAIL (pmaurer@co.el-dorado.ca.us)



Mr. Peter N. Maurer
Principal Planner
El Dorado County - Development Services Department
2850 Fairlane Court
Placerville, California 95667

**Subject: Employee Housing Deed Restriction Transfer Request
Meadowstone #212 to Renwick C-22**

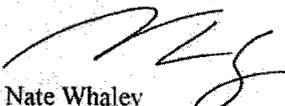
Dear Peter:

Per my comments at the November Tri-County Technical Advisory Committee Meeting (TC-TAC), I am submitting this application to transfer 2 employee housing "credits" currently in place on Meadowstone #212 to the 2-bedroom Renwick C-22 for consideration at the December TC-TAC meeting. This transfer would mimic similar 2-credit transfers previously approved by TC-TAC from Meadowstone 213 and 214 to Renwick C-23 and C-24.

As we have discussed on countless occasions, the "in-project" employee housing supplied in Meadowstone has not met any of our expectations. This Meadowstone Unit is in the process of foreclosure and a buyer has been found, but only qualifies if the deed-restriction can be removed. We continue to believe that no market for these units exists among the qualified employee pool and that this is the best option for the current owner as well as the overall employee housing inventory.

I have attached an updated Employee Housing Inventory reflecting this proposed transfer for your reference. Please contact me at (209)258-7291 if you have any questions

Sincerely,


Nate Whaley
Vice President

copy: Nathan Lishman, Amador County Planning
Brian Peters, Alpine County Community Development
Zach Woods, Alpine County Community Development

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www.kirkwood.com

 Printed on recycled paper

October 8, 2009

VIA EMAIL- nlishman@co.amador.ca.us



Mr. Nathan Lishman
Planner
Amador County Planning Department
810 Court Street
Jackson, California 95642

Subject: 2008/2009 Workforce Housing Audit

Dear Nate:

This annual summary of employee housing is provided to the Tri-County Technical Advisory Committee pursuant to the requirements of the 2003 Specific Plan and as documentation of compliance and status of Amador County Conditions of Approval #154 and #155. The annual housing report for the previous season ending April 30 identifies the average peak season full-time equivalent (FTE) employees and the inventory of on and off site housing for the previous and upcoming season. The format for this reporting is consistent with the "checkbook" methodology of the allocated and proposed deed restrictions required since the first employee housing requirement was adopted in 1981 and remaining unallocated credits in each of the existing employee housing as developed in coordination with TC-TAC and Amador County Planning following the 2006/2007 audit.

CURRENT STATUS

The attached Table 1 illustrates that an average of approximately 398 FTE were employed in the Kirkwood Valley during the 2008/2009 season (including KMR, KMPUD, KCA, and other valley employers). The overall resort employee housing requirement calls for providing housing to 30% of the average FTE or 119 employees. As shown in Table 2, last season housing for 197 employees was provided in Valley. This number exceeds the requirement under the Specific Plan Ordinance by 82 employees.

The 197 employees were housed in 175 units of employer-owned housing (Red Cliffs, Renwick, Youth Hostel, Lava Rock, and Cross-Country), 6 in-project deed-restricted units (Meadowstone), and 18 units of various employee-owned, resort-leased, and caretaker units around the valley.

Employers made housing available at rates of \$240 to approximately \$800 per month excluding utilities. KMR's most expensive housing was \$440 per month. This represents a substantial discount to regional market rates and a significant subsidy of both operating and capital expenses.

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Mr. Nathan Lishman
October 8, 2009
Page 2 of 3

All subsidized employee housing was provided in-valley, though KMR continues to offer a substantial carpool incentive program in addition to operating a shuttle system from both South Lake Tahoe and Minden/Gardenerville that transports between 80 employees per day midweek and 150 employees per day on the weekends.

Peak winter occupancy in KMR-owned housing this year reached just ~62% (100 units) and the average winter occupancy was approximately 44%. This means that at the peak we had just 100 employees housed in the 162 beds of employer provided housing. The lowest occupancy was in Youth Hostel which reached just 50% occupancy at its peak and just 33% average occupancy. Renwick averaged slightly higher occupancy at approximately 45% and Red Cliffs was the most desirable facility in the KMR portfolio at an average occupancy of 51%. Despite these low occupancies we kept all of these facilities open during all of the winter and incurred all of the utility and overhead expenses – resulting in a substantial operating loss.

We expect to see a continued decrease in the utilization of employee housing and increased utilization of shuttle systems. Our employees desire to reside in areas with greater service and entertainment opportunities and this is consistent with our human resources goals of retaining a smaller staff size with higher paid, predominately returning employees and improves our ability to provide for the necessary life-safety and minimum operating resort staffing levels by actively managing the cross-section of in-valley employees during critical/emergency periods.

Unfortunately the benefits represented by greater employee headcount efficiency are being offset by higher operating losses in housing. This problem was first seen in last year's electricity cost spikes and now the dramatic increase in water and wastewater rates has made operating employee housing an almost impossible task. As management we continue to attempt to craft a solution that will allow us to meet the needs of our resort guests and employees while not creating an unnecessary financial burden on the resort operator.

PROJECTED DEVELOPMENT AND UTILIZATION

We expect the employee counts to remain essentially unchanged for the coming ski season and thus will be required to supply valley-wide housing for approximately 120 employees again next winter. We anticipate no change in the 40 units of non-KMR owned housing inventory. In an effort to reduce the excess supply of overall housing so that we see higher occupancy rates and greater efficiency this winter, we intend to reconfigure the 28 beds in Youth Hostel into flex-space that can be utilized for overnight stays by employees (during emergencies) or as an affordable in-valley, residential Hostel alternative. This still leaves 147 employer-owned units plus 20+ other units of employee housing stock relative to the 123.2 Specific Plan required deed restrictions and 119 required employees housed.

Mr. Nathan Lishman
October 8, 2009
Page 3 of 3

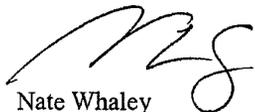
CHECKBOOK ANALYSIS

As we have discussed previously, the attached "checkbook" demonstrates that KMR has 56.8 units remaining for future project allocations assuming that all proposed/approved projects satisfy their requirement with existing KMR stock (though this is by no means required). (The table shows only 55.8 due to rounding in anticipation of aggregating requirements with other current developments, thus this will be covered via future allocations.)

The resulting complete accounting of the deed restriction requirements since 1981 (the first employee housing requirement) demonstrates that there is an excess of qualified employee housing credits in employer-owner stock that can be allocated to meet future developer requirements. That said, future employee growth to the aggressive 1,135 employee count contemplated in the Specific Plan, would require approximately 25 additional "units" of employee housing before build-out to meet the Overall Resort Requirement relative to 175 employer-owned units available today. As we have discussed previously, these remaining units should target the more costly private and multifamily apartment style housing at the supervisor/manager level of the cross-section of available product – perhaps using the KMPUD's facility as the proper model for future construction, by either KMPUD or KMR. This would be done using the current practice of transferring deed restrictions to built employer-owned housing stock to provide appropriate incentives required to subsidize the development of necessary new stock while also upgrading existing apartment and dormitory stock.

We will continue to provide and adjust allocations as future development requires, both via the individual project approval and updating this checkbook annually via the Employee Housing Audit process. I ask that you will place this on the November TC-TAC agenda for formal review and acceptance. Please contact me at (209)258-7291 if you have any questions.

Sincerely,



Nate Whaley
Vice President

copy: Brian Peters, Alpine County Planning (brian@pd.alpinecountyca.com)
Susan Grijalva, Amador County Planning (sgrijalva@co.amador.ca.us)
Peter Maurer, El Dorado County Planning Services (pmaurer@co.el-dorado.ca.us)
Dave Likins, Kirkwood Mountain Resort (dlikins@kirkwood.com)
Mike Richter, Kirkwood Mountain Resort (mrichter@kirkwood.com)

Table 1
Kirkwood Mountain Resort
Employment Summary

Pay Period Ending	Full Time Employees (>32hrs/wk)	Part Time Employees (16-32hrs/wk)	Occasional Employees (<16hrs/wk)	Total Gross Employees	KMR FTE			Total FTE
					per Employee Housing Ordinance	KMPUD FTE (est)	Other FTE (est)	
10/4/2008	100	20	9	129				
10/18/2008	108	25	3	136				
11/1/2008	108	20	6	134				
11/15/2008	104	18	10	132				
11/29/2008	107	29	19	155	122	16	17	155
12/13/2008	109	26	35	170	122	16	17	155
12/27/2008	256	495	132	883	504	16	17	537
1/10/2009	419	136	74	629	487	16	17	520
1/24/2009	329	204	118	651	431	16	17	464
2/7/2009	300	219	116	635	410	16	17	443
2/21/2009	380	155	99	634	458	16	17	491
3/7/2009	326	129	127	582	391	16	17	424
3/21/2009	301	122	98	521	362	16	17	395
4/4/2009	278	99	95	472				
4/18/2009	115	55	24	194				
5/2/2009	66	24	1	91				
Average	281	168	91	540	365	16	17	398
WFH Requirement		30%						119

Table 2
Kirkwood Mountain Resort
Employee Housing Inventory

Location	Total Units	Bedrooms (MF Only)	Employees Housed	Deed Restrictions Required	Renwick				Red Cliffs			Youth Hostel		Lava Rock		Cross Country		In-Project			Total			Balance		
					Formal Restrictions	Committed	Proposed	Total	Deemed Restricted	Committed	Proposed	Total	Deemed Restricted	Total	Formal Restrictions	Total	Formal Restrictions	Total	Formal Restrictions	Proposed	Total	Deemed Restricted	Formal Restrictions		Committed	Proposed
Development Under 1972 Plan																										
West Meadows	176	-	5	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-		
Base Camp	48	77	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-		
Edelweiss	24	36	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-		
Thimblewood	12	19	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-		
Red Cliffs	12	48	96	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-		
Renwick	24	36	36	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-		
Cross Country Center	2	3	3	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-		
Subtotal	298	219	140	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-		
Development Under 1981 Plan																										
Whiskey Towers	15	20	1	2.9	-	-	-	-	2.9	-	2.9	-	-	-	-	-	-	-	-	-	2.9	-	-	2.9		
Sun Meadows	66	101	3	10.1	-	-	-	-	10.1	-	10.1	-	-	-	-	-	-	-	-	-	10.1	-	-	10.1		
The Meadows	66	75	3	7.5	-	-	-	-	7.5	-	7.5	-	-	-	-	-	-	-	-	-	7.5	-	-	7.5		
Subtotal	147	205	7	20.5	-	-	-	-	20.5	-	20.5	-	-	-	-	-	-	-	-	-	20.5	-	-	20.5		
Development Under 1988 Plan & Ordinance																										
East Meadows	113	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-		
Juniper Ridge	28	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-		
Lost Cabin	16	39	4	3.9	-	-	-	-	-	-	-	4.0	4.0	-	-	-	-	-	-	-	4.0	-	-	4.0		
Mountain Club	40	46	-	4.6	-	-	-	-	-	-	4.6	4.6	-	-	-	-	-	-	-	-	4.6	-	-	4.6		
Snowcrest	30	57	-	5.7	-	-	-	-	-	-	5.7	5.7	-	-	-	-	-	-	-	-	5.7	-	-	5.7		
The Lodge at Kirkwood	19	31	2	3.1	-	-	-	-	-	-	3.1	3.1	-	-	-	-	-	-	-	-	3.1	-	-	3.1		
Sentinels	10	26	-	2.6	-	-	-	-	-	-	2.6	2.6	-	-	-	-	-	-	-	-	2.6	-	-	2.6		
Youth Hostel	8	28	28	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-		
Subtotal	264	227	34	19.9	-	-	-	-	-	-	16.0	16.0	4.0	4.0	-	-	-	-	-	-	16.0	4.0	-	20.0		
Development Under 2003 Plan & Ordinance (Completed)																										
Palisades III-V	31	-	-	10.3	8.0	-	-	8.0	-	-	-	-	-	3.0	3.0	-	-	-	-	-	11.0	-	-	11.0		
Palisades VI-A	8	-	-	2.7	3.0	-	-	3.0	-	-	-	-	-	-	-	-	-	-	-	-	3.0	-	-	3.0		
Timber Ridge	28	84	-	8.4	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	(8.4)		
Meadowstone	33	87	4	8.7	6.0	-	-	6.0	-	-	-	-	8.0	8.0	-	-	-	-	4.0	-	4.0	-	-	18.0		
Sentinels West	18	51	-	5.1	-	5.1	-	5.1	-	-	-	-	-	-	-	-	-	-	-	-	-	5.1	-	5.1		
Lava Rock Lodge	8	12	12	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-		
Subtotal	126	234	16	35.2	17.0	5.1	-	22.1	-	-	-	-	8.0	8.0	3.0	3.0	4.0	-	4.0	-	32.0	5.1	-	37.1		
Subtotal	835	885	197	75.6	17.0	5.1	-	22.1	20.5	-	20.5	16.0	16.0	12.0	12.0	3.0	3.0	4.0	-	4.0	36.5	36.0	5.1	-	77.6	
Development Under 2003 Plan & Ordinance (Approved)																										
Palisades VI	13	-	-	4.3	-	4.0	-	4.0	-	-	-	-	-	-	-	-	-	-	-	-	4.0	-	-	4.0		
Martin Point	35	-	-	11.7	-	-	-	-	11.0	11.0	-	-	-	-	-	-	-	-	-	-	11.0	-	-	11.0		
East Village Single Family	14	-	-	4.7	-	-	-	-	4.7	4.7	-	-	-	-	-	-	-	-	-	-	4.7	-	-	4.7		
Caples View	10	20	-	2.0	2.0	2.0	-	2.0	-	-	-	-	-	-	-	-	-	-	-	-	2.0	-	-	2.0		
Expedition Lodge I	35	91	-	9.1	7.9	7.9	-	7.9	1.2	1.2	-	-	-	-	-	-	-	-	-	-	9.1	-	-	9.1		
Thunder Mountain Lodge	67	148	-	14.8	-	-	-	-	14.8	14.8	-	-	-	-	-	-	-	-	-	-	-	-	14.8	14.8		
Subtotal	174	259	-	46.6	-	13.9	-	13.9	16.9	14.8	31.7	-	-	-	-	-	-	-	-	-	30.8	14.8	-	45.6		
Subtotal	1,009	1,144	197	122.2	17.0	19.0	-	36.0	20.5	16.9	14.8	52.2	16.0	16.0	12.0	12.0	3.0	3.0	4.0	-	4.0	36.5	36.0	35.9	14.8	123.2
Maximum / Capacity	1,413							36.0				96.0	28.0	12.0	3.0									175.0	-	
Remaining *Permanent*	404											43.8	12.0												55.8	(1.0)

Note: The employee housing requirement for Timber Ridge was originally satisfied "in-project" in Meadowstone

April 3, 2012

VIA EMAIL

Mr. Nathan Lishman
Planner
Amador County Planning Department
810 Court Street
Jackson, California 95642
nlishman@amadorgov.org



Subject: 2010/2011 Workforce Housing Audit

Dear Nate:

This annual summary of employee housing is provided to the Tri-County Technical Advisory Committee pursuant to the requirements of the 2003 Specific Plan and as documentation of compliance and status of Amador County Conditions of Approval #127 and #155. The annual housing report for the previous season ending April 30 identifies the average peak season full-time equivalent (FTE) employees and the inventory of on and off site housing for the previous and upcoming season. The format for this reporting is consistent with the "checkbook" methodology of the allocated and proposed deed restrictions required since the first employee housing requirement was adopted in 1981 and remaining unallocated credits in each of the existing employee housing as developed in coordination with TC-TAC and Amador County Planning following the 2006/2007 audit.

CURRENT STATUS

The attached Table 1 illustrates that an average of approximately 311 FTE were employed in the Kirkwood valley last season (including KMR, KMPUD, KCA, and other valley employers). The overall resort employee housing requirement calls for providing housing to 30% of the average FTE or 93 employees. As shown in Table 2, last season fully dedicated housing for 169 employees was provided in Valley exceeding the requirement under the Specific Plan Ordinance by 76 employees.

The 169 employees are housed in 149 units of employer-owned housing (Red Cliffs, Renwick, Lava Rock, and Cross-Country), 4 in-project deed-restricted units (Meadowstone), and 16 units of various employee-owned, resort-leased, and caretaker units around the valley.

Employers made housing available at rates of \$240 per month including utilities to approximately \$800 per month excluding utilities. KMR's most expensive housing was \$440 per month including utilities. All employer-owned housing rates represent a substantial discount to regional market rates and a significant subsidy of both operating and capital expenses.

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www.kirkwood.com

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Mr. Nathan Lishman
April 3, 2012
Page 2 of 3

All subsidized employee housing was provided in-valley, though KMR continues to offer a substantial carpool incentive program in addition to operating a shuttle system from both South Lake Tahoe and Minden/Gardnerville that transports between 80 employees per day midweek and 150 employees per day on the weekends.

Peak winter occupancy in KMR-owned, Red Cliffs and Renwick housing this year reached just ~72% (134 employees) while the average winter occupancy was approximately 50% (90 employees). These numbers are higher than the prior year average occupancy of 31% (includes capacity at Youth Hostel) / 51 employees due to aggressive commitment requirements on our international workforce designed to improve utilization. However, the housing commitment was relatively unpopular and despite the requirement overall occupancy remained very low. Despite the low occupancies, these facilities remained fully open all winter and incurred all of the utility and overhead expenses. These factors in combination with the dramatic increases in utility rates (electricity spikes of several years ago and more recently the dramatic increase in water and sewer rates) result in a substantial operating loss subsidy required to provide housing.

We do not expect any increased demand for the utilization of employee housing. Our employees desire to reside in areas with greater service and entertainment opportunities. This is consistent with our human resources goals of retaining a smaller staff size with higher paid, predominately returning employees and improves our ability to provide for the necessary life-safety and minimum operating resort staffing levels by actively managing the cross-section of in-valley employees during critical/emergency periods.

During the 2010/2011 season the Youth Hostel was again utilized for group and other short-term lodging. While we made the building available to employees as needed, as indicated above, there remained ample excess capacity in other housing facilities. The free-market use of surplus stock in Youth Hostel has been very successful and has been extremely effective in controlling/offsetting the cost of providing employee housing. We believe that expanded utilization of excess employee housing units as additional low-cost free-market lodging will be critical to achieving financial stability of employee housing in the valley and wish to continue to use this model in the future.

PROJECTED DEVELOPMENT AND UTILIZATION

We expect the employee counts to remain essentially unchanged for the coming ski season and thus will be required to provide an inventory to supply valley-wide housing for approximately 120 employees again next winter. We further do not anticipate any development which would change the deed-restriction requirement. While the inventory of KMR-owned, other employer-owner, and non-employer owned housing is not expected to change, we will continue to expand our utilization of surplus capacity as flexible, short-term, affordable free-market lodging.

Mr. Nathan Lishman
April 3, 2012
Page 3 of 3

CHECKBOOK ANALYSIS

The attached "checkbook" demonstrates that excluding the Hostel, KMR has 30.1 units remaining for future project allocations assuming that all proposed/approved projects satisfy their requirement with existing KMR stock (though not required). (The table shows only 29.8 due to rounding in anticipation of aggregating requirements with other current developments, thus this will be covered via future allocations.)

The resulting complete accounting of the deed restriction requirements since 1981 (the first employee housing requirement) demonstrates that there is an excess of qualified employee housing credits in employer-owner stock that can be allocated to meet future developer requirements. That said, future employee growth to the aggressive 1,135 employee count contemplated in the Specific Plan, would require approximately 25 additional "units" of employee housing before build-out to meet the Overall Resort Requirement relative to 175 employer-owned units available today. While we do not expect to ever reach this requirement, ideally any future units would target the more costly private and multifamily apartment style housing at the supervisor/manager level of the cross-section of available product – perhaps using the KMPUD's facility as the proper model for future construction, by either KMPUD or KMR. Required subsidization of the development of necessary new stock while also upgrading existing apartment and dormitory stock is currently accomplished using the practice of transferring deed restrictions to built employer-owned housing stock as a de-facto fee-in-lieu. That said, KMR looks forward to coordinating with the KMPUD to continue to work together with the Counties to evaluate the accounting system and the required operational flexibility.

We will continue to provide and adjust allocations as future development requires, both via the individual project approval and updating this checkbook annually via the Employee Housing Audit process. Please place this on an upcoming TC-TAC agenda for formal review and acceptance as necessary. As always, I can be reached at (209)258-7418 with any questions.

Sincerely,



Michael Richter
Director of Planning
Kirkwood Mountain Resort

Copy:

Brian Peters, Alpine County Community Development (brian@pd.alpinecountyca.gov)
Zach Wood, Alpine County Community Development (zach@pd.alpinecountyca.gov)
Susan Grijalva, Amador County Planning ()
Nathan Lishman, Amador County Planning (nlishman@amadorgov.org)
Peter Maurer, El Dorado County Planning Services (peter.maurer@edcgov.us)
Michael Sharp, Kirkwood Meadows PUD (kmpud@volcano.net)
Nate Whaley, Kirkwood Mountain Resort (nwhaley@kirkwood.com)

Table I
Kirkwood Mountain Resort
Employment Summary

Pay Period Ending	Full Time Employees (>32hrs/wk)	Part Time Employees (16-32hrs/wk)	Occasional Employees (<16hrs/wk)	Total Gross Employees	KMR FTE per			Total FTE
					Employee Housing Ordinance	KMPUD FTE	Other FTE (est)	
10/2/2010	59	33	3	95				
10/16/2010	57	36	3	96				
10/30/2010	58	41	2	101				
11/13/2010	65	67	1	133				
11/27/2010	68	238	30	336	187	15	17	219
12/11/2010	75	336	22	433	243	15	17	275
12/25/2010	75	383	43	501	267	15	17	299
1/8/2011	74	502	43	619	325	15	17	357
1/22/2011	71	503	38	612	323	15	17	355
2/5/2011	72	492	38	602	318	15	17	350
2/19/2011	70	472	44	586	306	15	17	338
3/5/2011	70	418	41	529	279	15	17	311
3/19/2011	70	380	39	489	260	15	17	292
4/2/2011	67	351	27	445				
4/16/2011	66	264	19	349				
4/30/2011	51	30	3	84				
Average	72	414	38	523	279	15	17	311
WFH Requirement		30%						93

Table 2
Kirkwood Mountain Resort
Employee Housing Inventory

Location	Total Units (MF Units)	Bedrooms	Implied Population	Employees Housed	Dead Restrictions	Kernwick			Red Cliff			Yavah Hotel			Lava Rock			Cross Country			In-Project			Total	Balance	
						Proposed	Committed	Restrictions	Proposed	Committed	Restrictions	Proposed	Committed	Restrictions	Proposed	Committed	Restrictions	Proposed	Committed	Restrictions	Proposed	Committed	Restrictions			
Development Under 1972 Plan																										
West Meadows	176		1,021		5																					
Base Camp	46		77																							
Paradise	24		24																							
Thunderwood	12		19																							
Red Cliff	12		48		96																					
Resnick	24		38		38																					
Cross Country Center	2		3		3																					
Subtotal	298		1,499		142																					
Development Under 1981 Plan																										
Whispering Pines	15		29		29																					
San Meadows	64		98		3																					
The Meadows	66		164		3																					
Subtotal	145		292		35																					
Development Under 1988 Plan & Ordinance																										
East Meadows	113		155																							
East Ridge	16		117																							
Levi Cabin	16		39		2																					
Mountain Club	40		101		4.6																					
Snowcrest	30		123		5.7																					
The Lodge at Kirkwood	19		31		2																					
Sounds	10		26		5.6																					
Youth Hotel	8		23		1.6																					
Subtotal	168		1,264		4																					
Development Under 2003 Plan & Ordinance (Completed)																										
Paradise V-I-V	31		180		10.3																					
Paradise V-I-A	8		46		2.7																					
Timber Ridge	28		182		8.4																					
Meadowstone	33		186		4																					
Crystal Pines	6		10		2.0																					
Crystal Meadows	10		20		2.0																					
Lava Rock Lodge	8		12		2.6																					
Subtotal	136		775		16																					
Development Under 2003 Plan & Ordinance (Approved)																										
Paradise V-I	15		75		4.3																					
Marin Point	38		203		11.7																					
East Village Single Family	14		59		4.7																					
Exposition Lodge I	35		197		9.1																					
Thunder Mountain Lodge	67		148		14.8																					
Subtotal	169		833		44.6																					
Subtotal	1,007		1,143		169																					
Mechanics Capacity	1,413		6,559		38.0																					
Remaining "Permanence"	406		1,751		2.0																					

Note: The employee housing requirement for Timber Ridge was originally satisfied "in-project" in Meadowstone



2011-12 Employee Housing Audit

Mike Richter <mrichter@kirkwood.com>

Thu, May 24, 2012 at 10:22 AM

To: handerson@amadorgov.org, Nathan Lishman <nlishman@amadorgov.org>, pierre.rivas@edcgov.us, Zach@pd.alpinecountyca.gov, Michael Sharp <kmpud@volcano.net>, Nate Whaley <nwhaley@kirkwood.com>

For your review, attached is the 2011/12 Employee Housing Report. As the report and tables show we provided housing for 155 employees in the valley last year which exceeded the requirement to provide housing to 30% of the average full time employees (FTE) or 82 employees. Please place this on an upcoming TC-TAC agenda for formal review and acceptance as necessary. I can be reached at (209) 258-7418 if you have any questions.

Michael J. Richter

Director of Planning and Environmental Affairs

Kirkwood Mountain Resort

mrichter@kirkwood.com

p: (209) 258-7418

c: (760) 717-7221

Information from ESET NOD32 Antivirus, version of virus signature database 7165 (20120524)

The message was checked by ESET NOD32 Antivirus.

<http://www.eset.com>

 **2011-12 Employee Housing Audit.pdf**
2511K

May 24, 2012
VIA EMAIL



Ms. Heather Anderson
Planner, Amador County Planning Department
810 Court Street
Jackson, California 95642
handerson@amadorgov.org

Subject: 2011/2012 Workforce Housing Audit

Dear Heather:

This annual summary of employee housing is provided to the Tri-County Technical Advisory Committee pursuant to the requirements of the 2003 Specific Plan and as documentation of compliance and status of Amador County Conditions of Approval #127 and #155. The annual housing report for the previous season ending April 30 identifies the average peak season full-time equivalent (FTE) employees and the inventory of on and off site housing for the previous and upcoming season. The format for this reporting is consistent with the "checkbook" methodology of the allocated and proposed deed restrictions required since the first employee housing requirement was adopted in 1981 and remaining unallocated credits in each of the existing employee housing as developed in coordination with TC-TAC and Amador County Planning following the 2006/2007 audit.

CURRENT STATUS

The attached Table 1 illustrates that an average of approximately 273 FTE were employed in the Kirkwood valley last season (including KMR, KMPUD, KCA, and other valley employers). The overall resort employee housing requirement calls for providing housing to 30% of the average FTE or 82 employees. As shown in Table 2, last season fully dedicated housing for 155 employees was provided in Valley exceeding the requirement under the Specific Plan Ordinance by 73 employees.

These 155 employees are housed in 149 units of employer-owned housing (Red Cliffs, Renwick, Lava Rock, and Cross-Country), 4 in-project deed-restricted units (Meadowstone), and 16 units of various employee-owned, resort-leased, and caretaker units around the valley.

Employers made housing available at rates of \$400 per month including utilities to approximately \$800 per month excluding utilities. KMR's most expensive housing was \$440 per month including utilities. All employer-owned housing rates represent a substantial discount to regional market rates and a significant subsidy of both operating and capital expenses.

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Ms. Heather Anderson
May 24, 2012
Page 2 of 3

All subsidized employee housing was provided in-valley, though KMR continues to offer a substantial carpool incentive program in addition to operating a shuttle system from both South Lake Tahoe and Minden/Gardnerville that transports between 80 employees per day midweek and 150 employees per day on the weekends.

Peak winter occupancy in KMR-owned, Red Cliffs and Renwick housing was slightly higher than last year, from 110 to 119. . However, the housing commitment was relatively unpopular and despite the requirement, overall occupancy remained very low. Despite the low occupancies, these facilities remained fully open all winter and incurred all of the utility and overhead expenses. These factors in combination with the dramatic increases in utility rates (electricity spikes of several years ago and more recently the dramatic increase in water and sewer rates) result in a substantial operating loss subsidy required to provide housing.

We do not expect any increased demand for the utilization of employee housing. Our employees desire to reside in areas with greater service and entertainment opportunities. This is consistent with our human resources goals of retaining a smaller staff size with higher paid, predominately returning employees and improves our ability to provide for the necessary life-safety and minimum operating resort staffing levels by actively managing the cross-section of in-valley employees during critical/emergency periods.

During the 2011/2012 season the Youth Hostel was again utilized for group and other short-term lodging. While we made the building available to employees as needed, as indicated above, there remained ample excess capacity in other housing facilities. The free-market use of surplus stock in Youth Hostel has been very successful and has been extremely effective in controlling/offsetting the cost of providing employee housing. We believe that expanded utilization of excess employee housing units as additional low-cost free-market lodging will be critical to achieving financial stability of employee housing in the valley and wish to continue to use this model in the future.

PROJECTED DEVELOPMENT AND UTILIZATION

We expect the employee counts to remain essentially unchanged for the coming ski season and thus will be required to provide an inventory to supply valley-wide housing for approximately 150 employees again next winter. We further do not anticipate any development which would change the deed-restriction requirement. While the inventory of KMR-owned, other employer-owner, and non-employer owned housing is not expected to change, we will continue to expand our utilization of surplus capacity as flexible, short-term, affordable free-market lodging.

Ms. Heather Anderson
May 24, 2012
Page 3 of 3

CHECKBOOK ANALYSIS

The attached “checkbook” demonstrates that excluding the Hostel, KMR has 30.1 units remaining for future project allocations assuming that all proposed/approved projects satisfy their requirement with existing KMR stock (though not required). (The table shows only 29.8 due to rounding in anticipation of aggregating requirements with other current developments, thus this will be covered via future allocations.)

The resulting complete accounting of the deed restriction requirements since 1981 (the first employee housing requirement) demonstrates that there is an excess of qualified employee housing credits in employer-owner stock that can be allocated to meet future developer requirements. That said, future employee growth to the aggressive 1,135 employee count contemplated in the Specific Plan, would require approximately 25 additional “units” of employee housing before build-out to meet the Overall Resort Requirement relative to 175 employer-owned units available today. While we do not expect to ever reach this requirement, ideally any future units would target the more costly private and multifamily apartment style housing at the supervisor/manager level of the cross-section of available product – perhaps using the KMPUD’s facility as the proper model for future construction, by either KMPUD or KMR. Required subsidization of the development of necessary new stock while also upgrading existing apartment and dormitory stock is currently accomplished using the practice of transferring deed restrictions to built employer-owned housing stock as a de-facto fee-in-lieu. That said, KMR looks forward to coordinating with the KMPUD to continue to work together with the Counties to evaluate the accounting system and the required operational flexibility.

We will continue to provide and adjust allocations as future development requires, both via the individual project approval and updating this checkbook annually via the Employee Housing Audit process. Please place this on an upcoming TC-TAC agenda for formal review and acceptance as necessary. As always, I can be reached at (209)258-7418 with any questions.

Sincerely,



Michael Richter

Director of Planning and Environmental Affairs, Kirkwood Mountain Resort

Copy:

Zach Wood, Alpine County Community Development (zach@pd.alpinecountyca.gov)

Nathan Lishman, Amador County Planning (nlishman@amadorgov.org)

Heather Anderson, Amador County Planning (hAnderson@amadorgov.org)

Pierre Rivas, El Dorado County Planning Services (pierre.rivas@edc.gov.us)

Michael Sharp, Kirkwood Meadows PUD (kmpud@volcano.net)

Nate Whaley, Kirkwood Mountain Resort (nwhaley@kirkwood.com)

Table 1
Kirkwood Mountain Resort
Employment Summary

Pay Period Ending	Full Time Employees (>32hrs/wk)	Part Time Employees (16-32hrs/wk)	Occasional Employees (<16hrs/wk)	Total Gross Employees	KMR FTE per			Total FTE
					Employee Housing Ordinance	KMPUD FTE	Other FTE (est)	
10/1/2011	69	15	13	97				
10/15/2011	64	16	6	86				
10/29/2011	64	21	4	89				
11/12/2011	72	22	13	107				
11/26/2011	107	23	38	168	119	15	17	151
12/10/2011	108	61	29	198	139	15	17	171
12/24/2011	124	111	145	380	180	15	17	212
1/7/2012	177	123	97	397	239	15	17	271
1/21/2012	138	104	119	361	190	15	17	222
2/4/2012	225	134	117	476	292	15	17	324
2/18/2012	251	139	96	486	321	15	17	353
3/3/2012	316	100	71	487	366	15	17	398
3/17/2012	273	111	84	468	329	15	17	361
3/31/2012	284	93	76	453				
4/14/2012	172	172	84	428				
4/28/2012	17	2	0	19				
Average	154	101	88	380	241	15	17	273
WFH Requirement		30%						82

Table 2
Kirkwood Mountain Resort
Employee Housing Inventory

Location	Total Bedrooms		Employees Residing in Home	Development Under 1972 Plan		Development Under 1981 Plan		Development Under 1988 Plan & Ordinance		Development Under 2003 Plan & Ordinance (Consolidated)		Development Under 2003 Plan & Ordinance (Adjusted)		Total		Balance
	Units	Units (MP Data)		Completed	Proposed	Completed	Proposed	Completed	Proposed	Completed	Proposed	Completed	Proposed	Completed	Proposed	
West Meadows	176	1,021	5													
Base Camp	38	77	167													
Blue Bluffs	12	19	41													
Thunder Ridge	12	48	103	89												
Red Cliffs	24	38	32	50												
Remick	2	5	7													
Cons County Center	2	5	7													
Subtotal	288	321	1,199	128												
Development Under 1981 Plan	15	39	62	1	2.9											2.9
Wheeler Towers	64	98	213	3	9.8											9.8
San Meadows	66	78	164	3	7.5											7.5
The Meadows	145	202	440	7	20.2											20.2
Subtotal	185	217	685	11	30.4											30.4
Development Under 1988 Plan & Ordinance	16	39	84	2	3.9											3.9
Blue Bluffs	16	39	84	2	3.9											3.9
Lot Color	40	46	101		4.6											4.6
Mountain Club	30	37	121		3.7											3.7
Sierravest	18	31	67	2	3.1											3.1
The Lodge at Kirkwood	8	28	60		2.6											2.6
Capitol View	8	28	60		2.6											2.6
Yankee	8	28	60		2.6											2.6
Subtotal	264	237	624	4	19.9											19.9
Development Under 2003 Plan & Ordinance (Consolidated)	31	180			8.0											8.0
Palaides III-V	8	46			2.7											2.7
Palaides VI-A	8	44			2.7											2.7
Thunder Ridge	33	87			6.0											6.0
Mountain Club	18	51			3.0											3.0
Sierravest West	10	29			2.0											2.0
Capitol View	8	28			2.0											2.0
Lava Rock Lodge	8	28			2.0											2.0
Subtotal	136	254	77	16	57.2	22.0	2.1	24.1								57.2
Subtotal	843	904	3,976	155	77.5	22.0	2.1	24.1	36.2							77.5
Development Under 2003 Plan & Ordinance (Adjusted)	13	75			4.0											4.0
Palaides VI	13	75			4.0											4.0
Marble Peak	35	203			11.0											11.0
Blue Village Single Family	14	97			4.7											4.7
Thunder Mountain Lodge	67	148			14.8											14.8
Subtotal	164	259	833		44.6											44.6
Subtotal	1,007	1,163	4,809	155	121.9	22.0	2.1	24.1	36.2	16.2	11.8	67.9				121.9
Maximum Capacity	1,413	6,599			30.0											30.0
Remaining "Vacancies"	406	1,731			66.09											66.09

Note: The employee housing requirement for Timber Ridge was originally satisfied "in-progress" in Mendocino.



June 5, 2015

Aaron Mount
Associate Planner
County of El Dorado
Community Development Agency
2850 Fairlane Court
Placerville, CA 95667

Subject: 2014/2015 Workforce Housing Audit

To Whom It May Concern,

This annual summary of employee housing is provided to the Tri-County Technical Advisory Committee pursuant to the requirements of the 2003 Specific Plan and as documentation of compliance and status of Amador County Conditions of Approval #127 and #155. The annual housing report for the previous season ending April 19th identifies the average peak season full-time equivalent (FTE) employees and the inventory of on and off site housing for the previous and upcoming season. The format for this reporting is consistent with the "checkbook" methodology of the allocated and proposed deed restrictions required since the first employee housing requirement was adopted in 1981 and remaining unallocated credits in each of the existing employee housing as developed in coordination with TC-TAC and Amador County Planning following the 2006/2007 audit.

CURRENT STATUS

The attached Table 1 illustrates that an average of approximately 324 FTE were employed at Kirkwood Mountain Resort last winter season. The overall resort employee housing requirement calls for providing housing to 30% of the average FTE or 97 employees.

These 97 employees are housed in 176 units of employer-owned housing (Red Cliffs, Renwick, and The Hostel).

Employers made housing available at rates of \$200 per month to approximately \$500 per month including utilities. KMR's most expensive housing was \$500 per month including utilities. All employer-owned housing rates represent a substantial discount to regional market rates and a significant subsidy of both operating and capital expenses.

All subsidized employee housing was provided in-valley, though KMR continues to offer a substantial carpool incentive program in addition to operating a shuttle system from South Lake Tahoe that transports between 48 employees per day, seven days a week.

TC-TAC Agenda 07-10-2015
Attachment 2 - Page 27 of 29

Peak winter occupancy in KMR-owned, Red Cliffs, Renwick and The Hostel housing was slightly higher than last year, from 145 to 162.

PROJECTED DEVELOPMENT AND UTILIZATION

We expect the employee counts to remain essentially unchanged for the coming ski season and thus will be required to provide an inventory to supply valley-wide housing for approximately 176 employees again next winter.

Please place this on an upcoming TC-TAC agenda for formal review and acceptance as necessary. As always, I can be reached at (209)258-7202 with any questions.

Sincerely,



Casey Blann
V.P. and General Manager
Kirkwood Mountain Resort
P.O. Box 1
Kirkwood, CA 95646
Phone: (209) 258-7202
Cblann@vailresorts.com

Copy:

Zach Wood, Alpine County Community Development (zach@pd.alpinecountyca.gov)
Nathan Lishman, Amador County Planning (nlishman@amadorgov.org)
Heather Anderson, Amador County Planning (handerson@amadorgov.org)
Pierre Rivas, El Dorado County Planning Services (pierre.rivas@edcgov.us)
Michael Sharp, Kirkwood Meadows PUD (kmnud@volcano.net)

Table 1
Kirkwood Mountain Resort
Employment Summary

Pay Period Ending	Full Time Employees (>32hrs/wk)	Part Time Employees (16-32hrs/wk)	Occasional Employees (<16hrs/wk)	Total Gross Employees	KMR FTE per Employee			Total FTE
					Housing Ordinance	KMPUD FTE	Other FTE (est)	
10/10/2014	113	8	N/A	121	34	N/A	N/A	113
10/24/2014	139	9	N/A	148	42	N/A	N/A	139
11/07/2014	209	22	N/A	231	63	N/A	N/A	209
11/21/2014	262	113	N/A	375	79	N/A	N/A	262
12/05/2014	309	118	N/A	427	93	N/A	N/A	309
12/19/2014	486	121	N/A	607	146	N/A	N/A	486
01/02/2015	434	190	N/A	624	130	N/A	N/A	434
01/16/2015	437	187	N/A	624	131	N/A	N/A	437
01/30/2015	453	201	N/A	654	136	N/A	N/A	453
02/13/2015	465	200	N/A	665	140	N/A	N/A	465
02/27/2015	447	200	N/A	647	134	N/A	N/A	447
03/13/2015	440	164	N/A	604	132	N/A	N/A	440
03/27/2015	372	93	N/A	465	112	N/A	N/A	372
04/10/2015	205	13	N/A	218	62	N/A	N/A	205
04/24/2015	92	4	N/A	96	28	N/A	N/A	92
Average	324	110	N/A	434	97	N/A	N/A	324

WFH Requirement	30%	97
-----------------	-----	----

Current	
Total Empl	434
FTE	324
Housing Re	97



Julie Saylor <julie.saylor@edcgov.us>

Fwd: The Kirkwood Employee Housing Credit Scheme

1 message

Aaron Mount <aaron.mount@edcgov.us>
To: Julie Saylor <julie.saylor@edcgov.us>

Mon, Jul 27, 2015 at 8:05 AM

For the next Kirkwood meeting.

Aaron Mount
Associate Planner

County of El Dorado
Community Development Agency
Planning Services
2850 Fairlane Court
Placerville, CA 95667
(530) 621-5355 / FAX (530) 642-0508
aaron.mount@edcgov.us

----- Forwarded message -----

From: **Andrew Chandler** <andrewmachandler@msn.com>
Date: Mon, Jul 27, 2015 at 7:56 AM
Subject: Re: The Kirkwood Employee Housing Credit Scheme
To: "aaron.mount@edcgov.us" <aaron.mount@edcgov.us>, "sgrijalva@amadorgov.org" <sgrijalva@amadorgov.org>, "bpeters@alpinecountyca.gov" <bpeters@alpinecountyca.gov>
Cc: "zwood@alpinecountyca.gov" <zwood@alpinecountyca.gov>, "nlishman@amadorgov.org" <nlishman@amadorgov.org>, "handerson@amadorgov.org" <handerson@amadorgov.org>, "pierre.rivas@edcgov.us" <pierre.rivas@edcgov.us>, "msharp@kmpud.com" <msharp@kmpud.com>, "cblann@vailresorts.com" <cblann@vailresorts.com>, "gstahl@elevatedpm.com" <gstahl@elevatedpm.com>, "jreiter@kirkwoodcp.com" <jreiter@kirkwoodcp.com>, "nwhaley@kirkwoodcp.com" <nwhaley@kirkwoodcp.com>, "cbeatty@amadorgov.org" <cbeatty@amadorgov.org>

I need to make one correction to the email letter dated 7/23/15.

The recording on 11/2/2007 was different than the others, it placed restrictions on two separate Renwick apartments. Apartment B-9 (1.0 bedrooms) was restricted in addition to A-8. This increase the number of recorded-Formal Restrictions to 14.0.

The corrected spreadsheet is included below and I attach the complete set of recorded documents. Other than reducing the deficit from 9.0 to 8.0 (=22.0-14.0), this change does not impact the issues raised in the email letter.

Andrew Chandler
Sentinels West LLC

Date	Recorded Document ID	Apartment	Bedrooms	Recorded by

2/16/06	DocID-2006.1969	A-4	2.0	Likins
2/16/06	DocID-2006.1970	A-3	2.0	Likins
11/2/07	DocID-2007.11854	A-8	2.0	Likins
11/2/07	DocID-2007.11854	B-9	1.0	Likins
12/5/08	DocID-2009.1811	C-22	2.0	Whaley
3/6/09	DocID-2009.1830	A-5	2.0	Whaley
3/6/09	DocID-2009.1831	B-10	1.0	Whaley
12/4/09	DocID-2009.10249	C-19	2.0	Whaley
			14.0	

7 attachments

-  **CA-Amador-Document - Year.DocID-2006.1969.pdf**
188K
-  **CA-Amador-Document - Year.DocID-2006.1970.pdf**
188K
-  **CA-Amador-Document - Year.DocID-2007.11854.pdf**
197K
-  **CA-Amador-Document - Year.DocID-2009.1811.pdf**
222K
-  **CA-Amador-Document - Year.DocID-2009.1830.pdf**
241K
-  **CA-Amador-Document - Year.DocID-2009.1831.pdf**
241K
-  **CA-Amador-Document - Year.DocID-2009.10249.pdf**
244K



Amador County Recorder
 Sheldon D. Johnson
DOC- 2006-0001969-00

Check Number 834
 REQD BY KIRKWOOD MTN RESORT
 Tuesday, FEB 21, 2006 08:34:07
 Ttl Pd \$21.00 Nbr-0000123016
 SDJ/R1/1-6

Recording requested by, and
 when recorded return to:

Nate Whaley
 Kirkwood Mountain Resort, LLC
 P.O. Box 1
 Kirkwood, CA 95646

[Exempt from recording fees (Gov. Code ' ' 6103, 27383) & documentary transfer tax (Rev. & Tax Code ' 11922).]

**DECLARATION
 OF
 EMPLOYEE HOUSING COVENANTS AND RESTRICTIONS**

Pursuant to the provisions of the Kirkwood Specific Plan as adopted by the Amador County Board of Supervisors pursuant to Amador County Ordinance No. 1569, the real property owned by Kirkwood Mountain Resort, LLC, and described as follows, and any replacements thereof, shall be, and hereby is designated as an Employee Housing Unit:

See Description of Units attached as Exhibit A and Map attached as Exhibit B.

Only the above described apartment units shall be subject to this restriction, and the remainder of the above referenced property known as Parcel 9 shall remain unencumbered by this restriction.

The above described Employee Housing Units are hereby subject to the following use covenants and restrictions:

1. Definitions. As used in this Declaration of Employee Housing Covenants and Restrictions "Declaration", the terms set forth below shall have the meanings provided below:

a. Employees Housing Unit shall mean any type of dwelling unit that is encumbered by a lease provision, recorded covenant, deed restriction, or other restriction, or otherwise recognized as provided in the Kirkwood Employee Housing Ordinance adopted as part of Amador County Ordinance No. 1569.

b. Employee shall be a person who is employed by a business or agency whose primary purpose is to provide services within the Kirkwood Resort area and may include any of the following:

(1) An employee or agent of Kirkwood Mountain Resort LLC, or its successors.

(2) An employee or agent of any other person or entity when such employee's or agent's principal place of work is within Kirkwood Resort area, and a direct connection can be made

between the services provided by said employee and the operation of commercial activities located within the Kirkwood Resort area.

(3) An employee or agent of any state, local or federal governmental agency, when such employee's principal place of work is within the Kirkwood Resort area.

c. Permitted Family Members shall mean the spouse, and children, whether natural or by adoption of the relevant Employee.

d. Peak Season shall mean the four-month period commencing December 1st and ending March 31st of the next calendar year.

2. Use Restrictions. During any Peak Season, the Employee Housing Unit may be used or occupied only by a full time Employee and Permitted Family Members for personal residential purposes. Any other use or occupancy of the Employee Housing Unit during the Peak Season is prohibited. An employee is considered a full time employee, within the meaning of this Declaration, when he or she is to perform services for his or her employer or an average of thirty-two (32) or more hours per week.

3. Verification. Prior to allowing any person or persons to use or occupy the Employee Housing Unit during Ski Season conformation shall be required from such person or persons, if so requested by any of the parties with enforcement power as provided in Section 7 below, that (a) he or she is an Employee, and (b) any other users or occupiers of the Employee Housing Unit are Permitted Family Members.

4. Specific Plan. In addition to these Restrictions and the provisions of applicable law, the use, occupancy, rental and sale of the Employee Housing Unit shall be subject to the applicable terms and provisions of the Kirkwood Specific Plan as amended from time to time.

5. Lease Terms. In the case of any leasing or rental of the Employee Housing Unit during Ski Season, the lease or other rental agreement shall be on a month-to-month basis and shall be terminable upon thirty (30) day prior written notice in the event that (a) the lessee, tenant or other occupancy or user of the Employee Housing Unit ceases to be an Employee, or (b) any lessee, tenant or other occupancy or user of the Employee Housing Unit is other than a Permitted Family Member.

6. Audit and Inspection. Representatives of Alpine, Amador or El Dorado Counties may, from time to time, inspect the Employee Housing Unit and records concerning the leasing, rental use or occupancy thereof so as to verify compliance with this Declaration and all applicable provisions of the Kirkwood Employee Housing Ordinance adopted as part of Amador County Ordinance No. 1569.

7. Binding Effect. This Declaration shall be binding upon each owner, lessee, tenant, occupant or user of the Employee Housing Unit and the successors and assigns of each such owner, and enforceable by (a) Kirkwood Mountain Resort, LLC, and its successors and assigns; (b) any

employer some or all of whose employees or agents would be Employees as defined above, and (c) Amador, Amador or El Dorado Counties.

8. Sales and Conveyances. Any deed, deed of trust or other conveyance of any interest in the Employee Housing Unit shall contain a reference to this Declaration and its effect on the use of the Employee Housing Unit and a copy of this Declaration shall be attached to such deed, deed of trust or other conveyance.

9. Enforcement Action. This Declaration may be enforced by any appropriate legal or equitable action, including without limitation, an action for injunctive or similar relief. The prevailing party in any such action shall be entitled to recover from the non-prevailing party its costs and expenses in such action, including reasonable attorneys' fees, all as determined by the Court in such action or in another action brought for that purpose.

10. Reconsideration of Use Restriction. If, at some point in the future, the Tri-County Technical Advisory Committee (consisting of representatives of the planning departments of Alpine, Amador and El Dorado Counties and which administers the Kirkwood Specific Plan) determines that, in light of the existing and anticipated conditions and needs for Employee Housing Units in the Kirkwood area, the restriction on the use of Employee Housing Units are unnecessary or overly restrictive, the Tri-County Technical Advisory Committee may, in its discretion, terminate or reduce the scope of the restrictions imposed under this Declaration. In addition, this restriction may be terminated or reduced if a similar declaration is placed on a suitable unit(s) as replacement workforce housing.

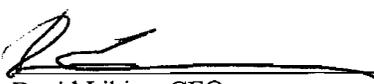
11. Severability. This Declaration shall be enforceable and valid to the maximum extent possible. The unenforceability or invalidity of any part of this Declaration shall not affect the validity or enforceability of the remainder of this Declaration.

12. Law Governing. This Declaration shall be interpreted and applied pursuant to the laws of the State of California applicable to contracts and executed and intended to be performed entirely in the State of California by residents of the State of California.

Dated: 2/16/06

OWNER:

KIRKWOOD MOUNTAIN RESORT, LLC

By: 
David Likins, CEO

ACKNOWLEDGEMENT BY NOTARY PUBLIC

State of California)
County of Alpine)

On Feb. 16, 2006, before me, SANDY MCKAY,
a notary public, personally appeared DAVID LIKINS, personally
known to me (or proved to me on the basis of satisfactory evidence) to be the person(s) whose
name(s) is/are subscribed to the within instrument and acknowledged to me that he/she/they
executed the same in his/her/their authorized capacity(ies), and that by his/her/their signature(s)
on the instrument the person(s), or the entity upon behalf of which the person(s) acted, executed
the instrument.

WITNESS my hand and official seal

Sandy McKay
Signature

(Seal)



EXHIBIT A

Apartment 4 of the Renwick Apartment House Complex, a two bedroom apartment, located on the northeast corner of the first floor of Building A on a portion of that certain parcel of land described as Parcel 9 in that certain deed recorded in the real estate records of Amador County California at Doc. No. 2000-003627.

EXHIBIT B

MAP

SHELDON LAND SURVEYING
1005 PERSIFER STREET
FOLSOM, CALIFORNIA 95630
(916) 985-1875

JOB NO.:
S983.01

DATE:
1-27-05

SCALE:
1" = 60'

REVISIONS:
1-31-06

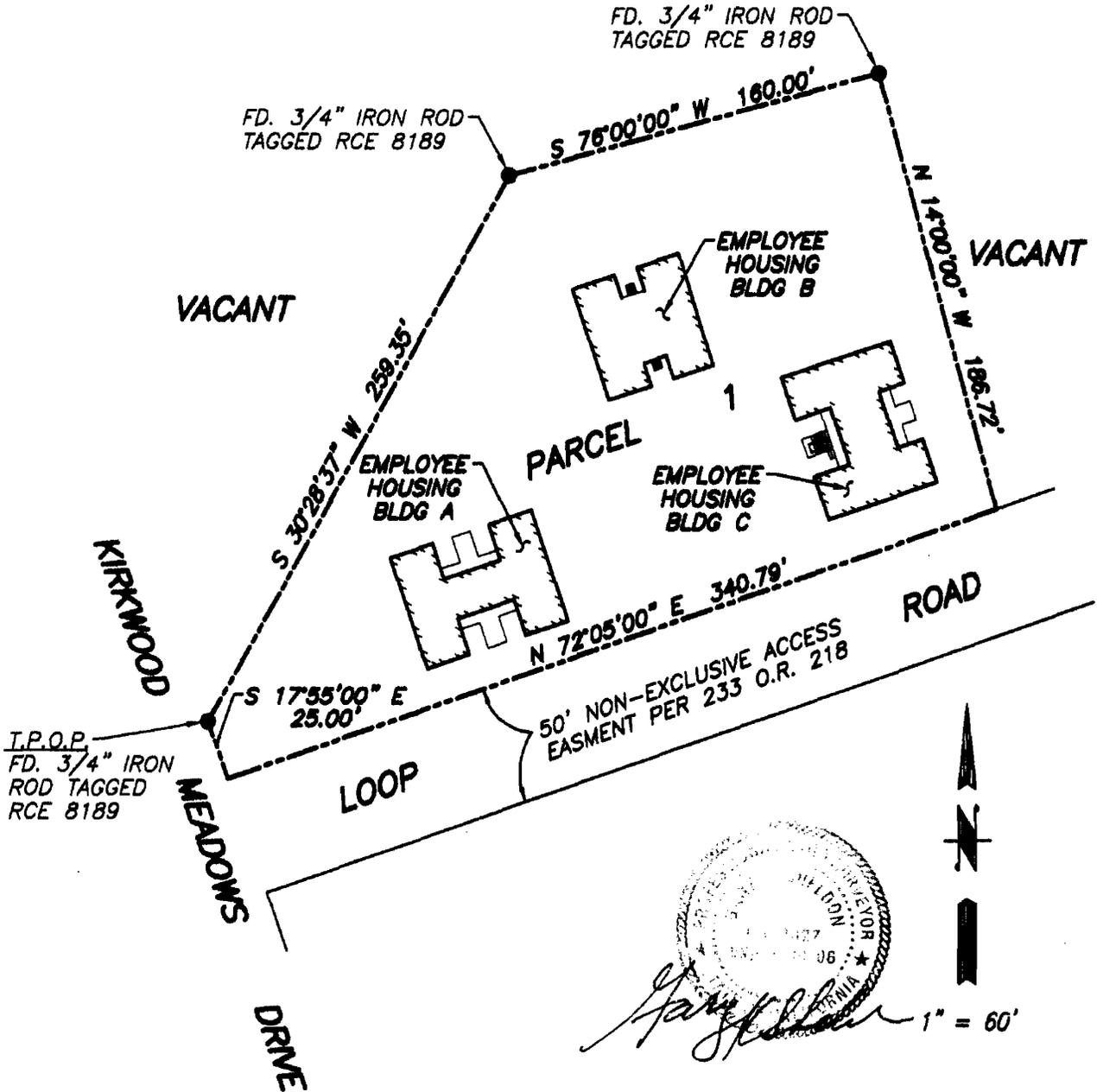


EXHIBIT "B"
RENWICK HOUSING

KIRKWOOD MEADOWS

AMADOR COUNTY

CALIFORNIA

"END OF DOCUMENT"



Amador County Recorder
Sheldon D. Johnson
DOC- 2006-0001970-00

Check Number 834
REQD BY KIRKWOOD MTN RESORT
Tuesday, FEB 21, 2006 08:34:15
Ttl Pd \$21.00 Nbr-0000123017
SD.V/R1/1-6

Recording requested by, and
when recorded return to:

Nate Whaley
Kirkwood Mountain Resort, LLC
P.O. Box 1
Kirkwood, CA 95646

[Exempt from recording fees (Gov. Code '11 6103, 27383) & documentary transfer tax (Rev. & Tax Code '11922).]

**DECLARATION
OF
EMPLOYEE HOUSING COVENANTS AND RESTRICTIONS**

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See Description of Units attached as Exhibit A and Map attached as Exhibit B.

Only the above described apartment units shall be subject to this restriction, and the remainder of the above referenced property known as Parcel 9 shall remain unencumbered by this restriction.

The above described Employee Housing Units are hereby subject to the following use covenants and restrictions:

1. Definitions. As used in this Declaration of Employee Housing Covenants and Restrictions "Declaration", the terms set forth below shall have the meanings provided below:

a. Employees Housing Unit shall mean any type of dwelling unit that is encumbered by a lease provision, recorded covenant, deed restriction, or other restriction, or otherwise recognized as provided in the Kirkwood Employee Housing Ordinance adopted as part of Amador County Ordinance No. 1569.

b. Employee shall be a person who is employed by a business or agency whose primary purpose is to provide services within the Kirkwood Resort area and may include any of the following:

(1) An employee or agent of Kirkwood Mountain Resort LLC, or its successors.

(2) An employee or agent of any other person or entity when such employee's or agent's principal place of work is within Kirkwood Resort area, and a direct connection can be made

between the services provided by said employee and the operation of commercial activities located within the Kirkwood Resort area.

(3) An employee or agent of any state, local or federal governmental agency, when such employee's principal place of work is within the Kirkwood Resort area.

c. Permitted Family Members shall mean the spouse, and children, whether natural or by adoption of the relevant Employee.

d. Peak Season shall mean the four-month period commencing December 1st and ending March 31st of the next calendar year.

2. Use Restrictions. During any Peak Season, the Employee Housing Unit may be used or occupied only by a full time Employee and Permitted Family Members for personal residential purposes. Any other use or occupancy of the Employee Housing Unit during the Peak Season is prohibited. An employee is considered a full time employee, within the meaning of this Declaration, when he or she is to perform services for his or her employer or an average of thirty-two (32) or more hours per week.

3. Verification. Prior to allowing any person or persons to use or occupy the Employee Housing Unit during Ski Season conformation shall be required from such person or persons, if so requested by any of the parties with enforcement power as provided in Section 7 below, that (a) he or she is an Employee, and (b) any other users or occupiers of the Employee Housing Unit are Permitted Family Members.

4. Specific Plan. In addition to these Restrictions and the provisions of applicable law, the use, occupancy, rental and sale of the Employee Housing Unit shall be subject to the applicable terms and provisions of the Kirkwood Specific Plan as amended from time to time.

5. Lease Terms. In the case of any leasing or rental of the Employee Housing Unit during Ski Season, the lease or other rental agreement shall be on a month-to-month basis and shall be terminable upon thirty (30) day prior written notice in the event that (a) the lessee, tenant or other occupancy or user of the Employee Housing Unit ceases to be an Employee, or (b) any lessee, tenant or other occupancy or user of the Employee Housing Unit is other than a Permitted Family Member.

6. Audit and Inspection. Representatives of Alpine, Amador or El Dorado Counties may, from time to time, inspect the Employee Housing Unit and records concerning the leasing, rental use or occupancy thereof so as to verify compliance with this Declaration and all applicable provisions of the Kirkwood Employee Housing Ordinance adopted as part of Amador County Ordinance No. 1569.

7. Binding Effect. This Declaration shall be binding upon each owner, lessee, tenant, occupant or user of the Employee Housing Unit and the successors and assigns of each such owner, and enforceable by (a) Kirkwood Mountain Resort, LLC, and its successors and assigns; (b) any

employer some or all of whose employees or agents would be Employees as defined above, and (c) Amador, Amador or El Dorado Counties.

8. Sales and Conveyances. Any deed, deed of trust or other conveyance of any interest in the Employee Housing Unit shall contain a reference to this Declaration and its effect on the use of the Employee Housing Unit and a copy of this Declaration shall be attached to such deed, deed of trust or other conveyance.

9. Enforcement Action. This Declaration may be enforced by any appropriate legal or equitable action, including without limitation, an action for injunctive or similar relief. The prevailing party in any such action shall be entitled to recover from the non-prevailing party its costs and expenses in such action, including reasonable attorneys' fees, all as determined by the Court in such action or in another action brought for that purpose.

10. Reconsideration of Use Restriction. If, at some point in the future, the Tri-County Technical Advisory Committee (consisting of representatives of the planning departments of Alpine, Amador and El Dorado Counties and which administers the Kirkwood Specific Plan) determines that, in light of the existing and anticipated conditions and needs for Employee Housing Units in the Kirkwood area, the restriction on the use of Employee Housing Units are unnecessary or overly restrictive, the Tri-County Technical Advisory Committee may, in its discretion, terminate or reduce the scope of the restrictions imposed under this Declaration. In addition, this restriction may be terminated or reduced if a similar declaration is placed on a suitable unit(s) as replacement workforce housing.

11. Severability. This Declaration shall be enforceable and valid to the maximum extent possible. The unenforceability or invalidity of any part of this Declaration shall not affect the validity or enforceability of the remainder of this Declaration.

12. Law Governing. This Declaration shall be interpreted and applied pursuant to the laws of the State of California applicable to contracts and executed and intended to be performed entirely in the State of California by residents of the State of California.

Dated: 2/16/06

OWNER:

KIRKWOOD MOUNTAIN RESORT, LLC

By: 
David Likins, CEO

ACKNOWLEDGEMENT BY NOTARY PUBLIC

State of California)
County of Alpine)

On Feb. 16, 2006, before me, SANDY MCKAY,
a notary public, personally appeared DAVID LIKINS, personally
known to me (or proved to me on the basis of satisfactory evidence) to be the person(s) whose
name(s) is/are subscribed to the within instrument and acknowledged to me that he/she/they
executed the same in his/her/their authorized capacity(ies), and that by his/her/their signature(s)
on the instrument the person(s), or the entity upon behalf of which the person(s) acted, executed
the instrument.

WITNESS my hand and official seal

Sandy McKay
Signature

(Seal)



EXHIBIT A

Apartment 3 of the Renwick Apartment House Complex, a two bedroom apartment, located on the northwest corner of the first floor of Building A on a portion of that certain parcel of land described as Parcel 9 in that certain deed recorded in the real estate records of Amador County California at Doc. No. 2000-003627.

EXHIBIT B

MAP

SHELDON LAND SURVEYING
1005 PERSIFER STREET
FOLSOM, CALIFORNIA 95630
(916) 985-1875

JOB NO.:
S983.01

DATE:
1-27-06

SCALE:
1" = 60'

REVISIONS:
1-31-06

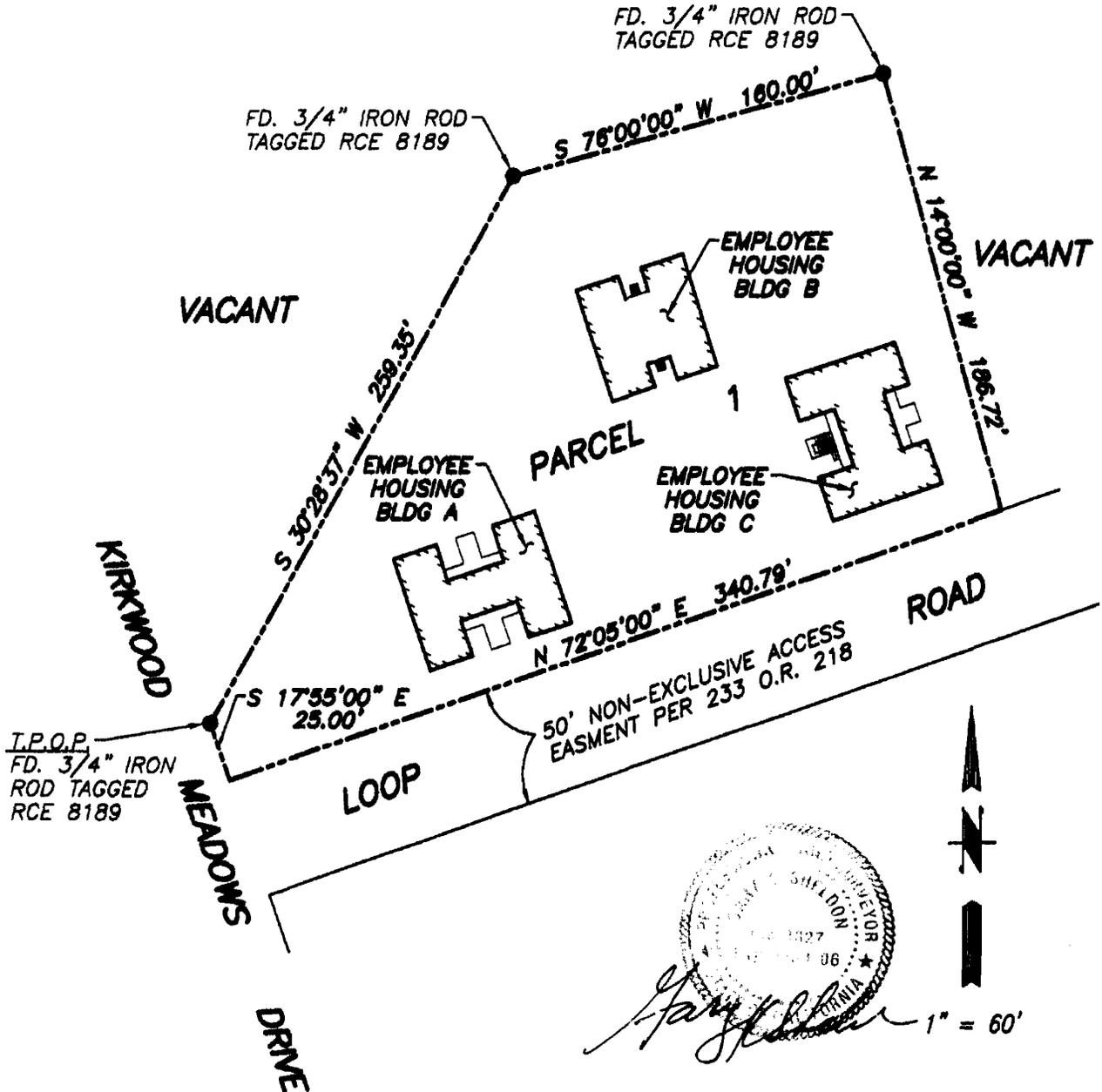


EXHIBIT "B"
RENWICK HOUSING

KIRKWOOD MEADOWS

AMADOR COUNTY

CALIFORNIA

"END OF DOCUMENT"



Amador County Recorder
 Sheldon D. Johnson
DOC- 2007-0011854-00

Check Number 4477
 REQD BY THE SENTINELS WEST
 Thursday, NOV 08, 2007 11:20:35
 Ttl Pd \$21.00 Nbr-0000156816
 SDJ/R1/1-6

Recording requested by, and
 when recorded return to:

Nafe Whaley
 Kirkwood Mountain Resort, LLC
 P.O. Box 1
 Kirkwood, CA 95646

[Exempt from recording fees (Gov. Code '11 6103, 27383) & documentary transfer tax (Rev. & Tax Code' 11922).]

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 OF
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See Description of Units (One 1 Bedroom and One 2 Bedroom) attached as Exhibit A and Map attached as Exhibit B.

Only the above described apartment units shall be subject to this restriction, and the remainder of the above referenced property shall remain unencumbered by this restriction.

The above described Employee Housing Units are hereby subject to the following use covenants and restrictions:

1. Definitions. As used in this Declaration of Employee Housing Covenants and Restrictions "Declaration", the terms set forth below shall have the meanings provided below:

a. Employees Housing Unit shall mean any type of dwelling unit that is encumbered by a lease provision, recorded covenant, deed restriction, or other restriction, or otherwise recognized as provided in the Kirkwood Employee Housing Ordinance adopted as part of Amador County Ordinance No. 1569.

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- (2) An employee or agent of any other person or entity when such employee's or agent's principal place of work is within Kirkwood Resort area, and a direct connection can be made

between the services provided by said employee and the operation of commercial activities located within the Kirkwood Resort area.

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4. Specific Plan. In addition to these Restrictions and the provisions of applicable law, the use, occupancy, rental and sale of the Employee Housing Unit shall be subject to the applicable terms and provisions of the Kirkwood Specific Plan as amended from time to time.

5. Lease Terms. In the case of any leasing or rental of the Employee Housing Unit during Ski Season, the lease or other rental agreement shall be on a month-to-month basis and shall be terminable upon thirty (30) day prior written notice in the event that (a) the lessee, tenant or other occupancy or user of the Employee Housing Unit ceases to be an Employee, or (b) any lessee, tenant or other occupancy or user of the Employee Housing Unit is other than a Permitted Family Member.

6. Audit and Inspection. Representatives of Alpine, Amador or El Dorado Counties may, from time to time, inspect the Employee Housing Unit and records concerning the leasing, rental use or occupancy thereof so as to verify compliance with this Declaration and all applicable provisions of the Kirkwood Employee Housing Ordinance adopted as part of Amador County Ordinance No. 1569.

7. Binding Effect. This Declaration shall be binding upon each owner, lessee, tenant, occupant or user of the Employee Housing Unit and the successors and assigns of each such owner, and enforceable by (a) Kirkwood Mountain Resort, LLC, and its successors and assigns; (b) any

employer some or all of whose employees or agents would be Employees as defined above, and (c) Alpine, Amador or El Dorado Counties.

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9. Enforcement Action. This Declaration may be enforced by any appropriate legal or equitable action, including without limitation, an action for injunctive or similar relief. The prevailing party in any such action shall be entitled to recover from the non-prevailing party its costs and expenses in such action, including reasonable attorneys' fees, all as determined by the Court in such action or in another action brought for that purpose.

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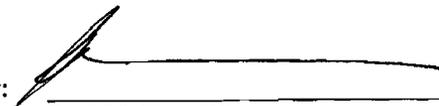
11. Severability. This Declaration shall be enforceable and valid to the maximum extent possible. The unenforceability or invalidity of any part of this Declaration shall not affect the validity or enforceability of the remainder of this Declaration.

12. Law Governing. This Declaration shall be interpreted and applied pursuant to the laws of the State of California applicable to contracts and executed and intended to be performed entirely in the State of California by residents of the State of California.

Dated: 11/2/07

OWNER:

KIRKWOOD MOUNTAIN RESORT, LLC

By: 
David Likins, CEO

ACKNOWLEDGEMENT BY NOTARY PUBLIC

State of California)
County of Alpine)

On November 2, 2007, before me, Sandy McKay,
a notary public, personally appeared David Likins, personally
known to me (or proved to me on the basis of satisfactory evidence) to be the person(s) whose
name(s) is/are subscribed to the within instrument and acknowledged to me that he/she/they
executed the same in his/her/their authorized capacity(ies), and that by his/her/their signature(s)
on the instrument the person(s), or the entity upon behalf of which the person(s) acted, executed
the instrument.

WITNESS my hand and official seal

Sandy McKay
Signature

(Seal)

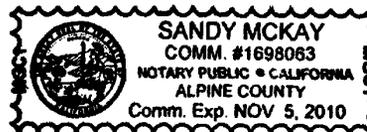


EXHIBIT A

Apartment 8 of the Renwick Apartment House Complex, a two bedroom apartment, located on the northwest corner of the second floor of Building A on a portion of that certain parcel of land described as Parcel 9 in that certain deed recorded in the real estate records of Amador County California at Doc. No. 2000-003627.

Apartment 9 of the Renwick Apartment House Complex, a one bedroom apartment, located on the southwest corner of the first floor of Building B on a portion of that certain parcel of land described as Parcel 9 in that certain deed recorded in the real estate records of Amador County California at Doc. No. 2000-003627.

SHELDON LAND SURVEYING
1005 PERSIFER STREET
FOLSOM, CALIFORNIA 95630
(916) 985-1875

JOB NO.:
 S983.01
SCALE:
 1" = 60'

DATE:
 1-27-05
REVISIONS:
 1-31-06

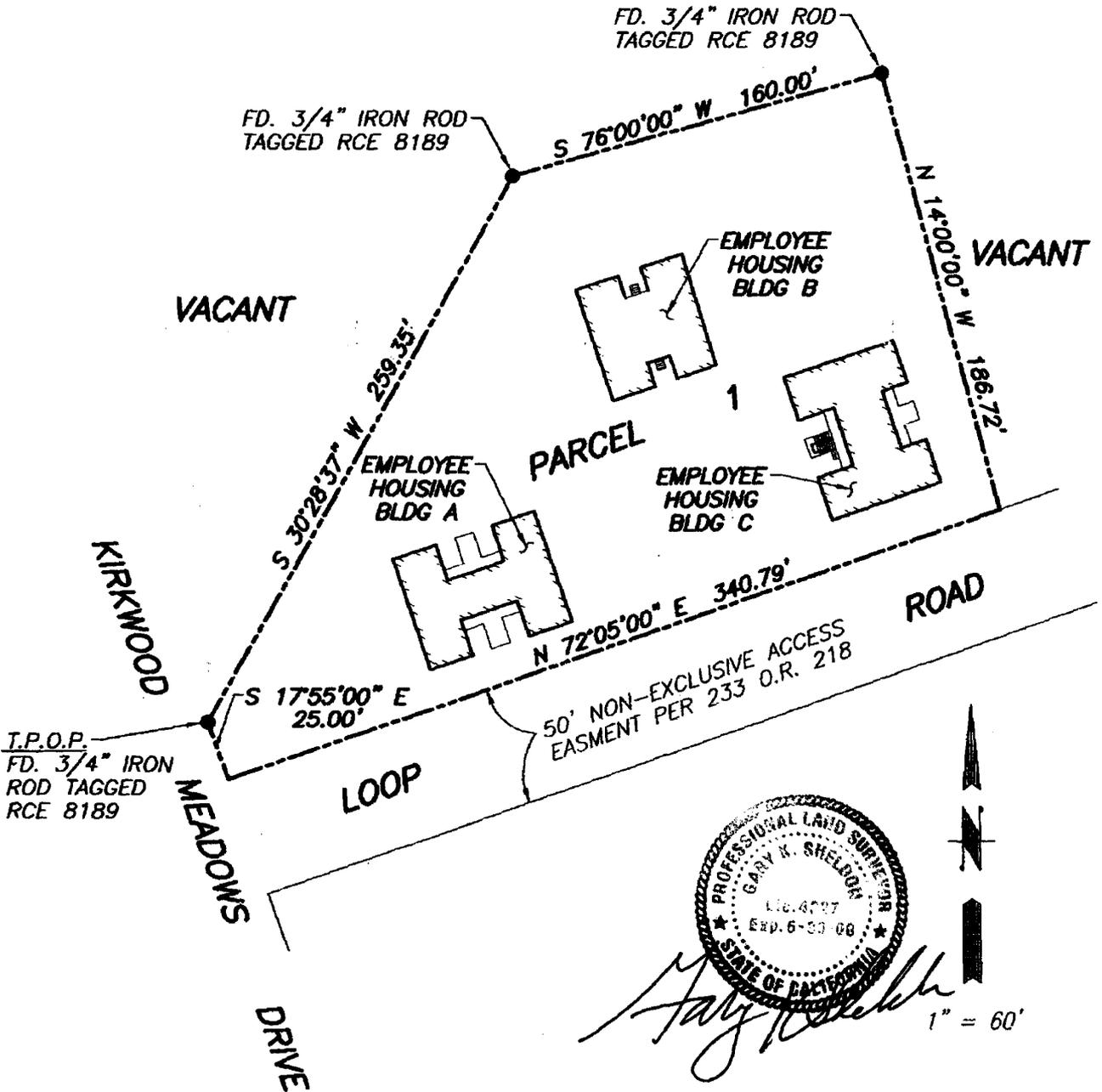
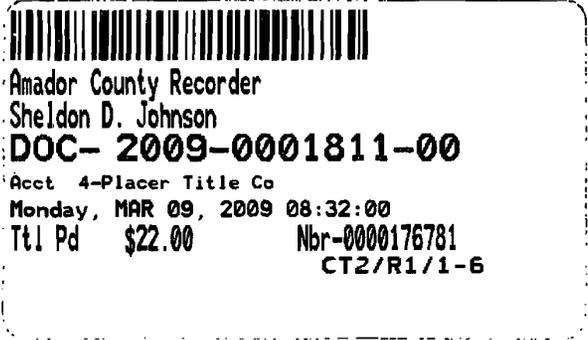


EXHIBIT "B"
RENWICK HOUSING

END OF DOCUMENT
 AMADOR COUNTY

KIRKWOOD MEADOWS

CALIFORNIA



Recording requested by, and
when recorded return to:

Nate Whaley
Kirkwood Mountain Resort, LLC
P.O. Box 1
Kirkwood, CA 95646

**DECLARATION
OF
EMPLOYEE HOUSING COVENANTS AND RESTRICTIONS**

Pursuant to the provisions of the Kirkwood Specific Plan as adopted by the Amador County Board of Supervisors pursuant to Amador County Ordinance No. 1569, the real property owned by Kirkwood Mountain Resort, LLC, and described as follows, and any replacements thereof, shall be, and hereby is designated as an Employee Housing Unit:

See Description of Units attached as Exhibit A and Map attached as Exhibit B.

Only the above described apartment units shall be subject to this restriction, and the remainder of the above referenced property known as Parcel 9 shall remain unencumbered by this restriction.

The above described Employee Housing Units are hereby subject to the following use covenants and restrictions:

1. Definitions. As used in this Declaration of Employee Housing Covenants and Restrictions "Declaration", the terms set forth below shall have the meanings provided below:

a. Employees Housing Unit shall mean any type of dwelling unit that is encumbered by a lease provision, recorded covenant, deed restriction, or other restriction, or otherwise recognized as provided in the Kirkwood Employee Housing Ordinance adopted as part of Amador County Ordinance No. 1569.

b. Employee shall be a person who is employed by a business or agency whose primary purpose is to provide services within the Kirkwood Resort area and may include any of the following:

(1) An employee or agent of Kirkwood Mountain Resort LLC, or its successors.

(2) An employee or agent of any other person or entity when such employee's or agent's principal place of work is within Kirkwood Resort area, and a direct connection can be made

between the services provided by said employee and the operation of commercial activities located within the Kirkwood Resort area.

(3) An employee or agent of any state, local or federal governmental agency, when such employee's principal place of work is within the Kirkwood Resort area.

c. Permitted Family Members shall mean the spouse, and children, whether natural or by adoption of the relevant Employee.

d. Peak Season shall mean the four-month period commencing December 1st and ending March 31st of the next calendar year.

2. **Use Restrictions.** During any Peak Season, the Employee Housing Unit may be used or occupied only by a full time Employee and Permitted Family Members for personal residential purposes. Any other use or occupancy of the Employee Housing Unit during the Peak Season is prohibited. An employee is considered a full time employee, within the meaning of this Declaration, when he or she is to perform services for his or her employer or an average of thirty-two (32) or more hours per week.

3. **Verification.** Prior to allowing any person or persons to use or occupy the Employee Housing Unit during Ski Season conformation shall be required from such person or persons, if so requested by any of the parties with enforcement power as provided in Section 7 below, that (a) he or she is an Employee, and (b) any other users or occupiers of the Employee Housing Unit are Permitted Family Members.

4. **Specific Plan.** In addition to these Restrictions and the provisions of applicable law, the use, occupancy, rental and sale of the Employee Housing Unit shall be subject to the applicable terms and provisions of the Kirkwood Specific Plan as amended from time to time.

5. **Lease Terms.** In the case of any leasing or rental of the Employee Housing Unit during Ski Season, the lease or other rental agreement shall be on a month-to-month basis and shall be terminable upon thirty (30) day prior written notice in the event that (a) the lessee, tenant or other occupancy or user of the Employee Housing Unit ceases to be an Employee, or (b) any lessee, tenant or other occupancy or user of the Employee Housing Unit is other than a Permitted Family Member.

6. **Audit and Inspection.** Representatives of Alpine, Amador or El Dorado Counties may, from time to time, inspect the Employee Housing Unit and records concerning the leasing, rental use or occupancy thereof so as to verify compliance with this Declaration and all applicable provisions of the Kirkwood Employee Housing Ordinance adopted as part of Amador County Ordinance No. 1569.

7. **Binding Effect.** This Declaration shall be binding upon each owner, lessee, tenant, occupant or user of the Employee Housing Unit and the successors and assigns of each such owner, and enforceable by (a) Kirkwood Mountain Resort, LLC, and its successors and assigns; (b) any

employer some or all of whose employees or agents would be Employees as defined above, and (c) Amador, Amador or El Dorado Counties.

8. Sales and Conveyances. Any deed, deed of trust or other conveyance of any interest in the Employee Housing Unit shall contain a reference to this Declaration and its effect on the use of the Employee Housing Unit and a copy of this Declaration shall be attached to such deed, deed of trust or other conveyance.

9. Enforcement Action. This Declaration may be enforced by any appropriate legal or equitable action, including without limitation, an action for injunctive or similar relief. The prevailing party in any such action shall be entitled to recover from the non-prevailing party its costs and expenses in such action, including reasonable attorneys' fees, all as determined by the Court in such action or in another action brought for that purpose.

10. Reconsideration of Use Restriction. If, at some point in the future, the Tri-County Technical Advisory Committee (consisting of representatives of the planning departments of Alpine, Amador and El Dorado Counties and which administers the Kirkwood Specific Plan) determines that, in light of the existing and anticipated conditions and needs for Employee Housing Units in the Kirkwood area, the restriction on the use of Employee Housing Units are unnecessary or overly restrictive, the Tri-County Technical Advisory Committee may, in its discretion, terminate or reduce the scope of the restrictions imposed under this Declaration. In addition, this restriction may be terminated or reduced if a similar declaration is placed on a suitable unit(s) as replacement workforce housing.

11. Severability. This Declaration shall be enforceable and valid to the maximum extent possible. The unenforceability or invalidity of any part of this Declaration shall not affect the validity or enforceability of the remainder of this Declaration.

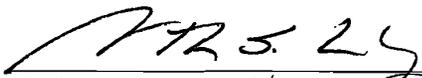
12. Law Governing. This Declaration shall be interpreted and applied pursuant to the laws of the State of California applicable to contracts and executed and intended to be performed entirely in the State of California by residents of the State of California.

Dated: 12/5/2008

OWNER:

KIRKWOOD MOUNTAIN RESORT, LLC

By:


Nathan S. Whaley, Vice President

ACKNOWLEDGEMENT BY NOTARY PUBLIC

State of California)
County of Alpine)

On Dec. 5, 2008, ~~2008~~, before me, Sandy McKay, a notary public, personally appeared Nathan S. Whaley, who proved to me on the basis of satisfactory evidence to be the person(s) whose name(s) is/are subscribed to the within instrument and acknowledged to me that he/she/they executed the same in his/her/their authorized capacity(ies), and that by his/her/their signature(s) on the instrument the person(s), or the entity upon behalf of which the person(s) acted, executed the instrument.

I certify under PENALTY OF PERJURY under the laws of the State of California that the foregoing paragraph is true and correct.

WITNESS my hand and official seal

Sandy McKay
Signature

(Seal)

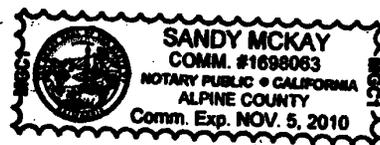


EXHIBIT A

Apartment C-22 of the Renwick Apartment House Complex, a two bedroom apartment, located on the northwest corner of the second floor of Building C on a portion of that certain parcel of land described as Parcel 9 in that certain deed recorded in the real estate records of Amador County California at Doc. No. 2000-003627.

EXHIBIT B

MAP

SHELDON LAND SURVEYING
1005 PERSIFER STREET
FOLSOM, CALIFORNIA 95630
(916) 985-1875

JOB NO.:
S983.01

DATE:
1-27-05

SCALE:
1" = 60'

REVISIONS:
1-31-06

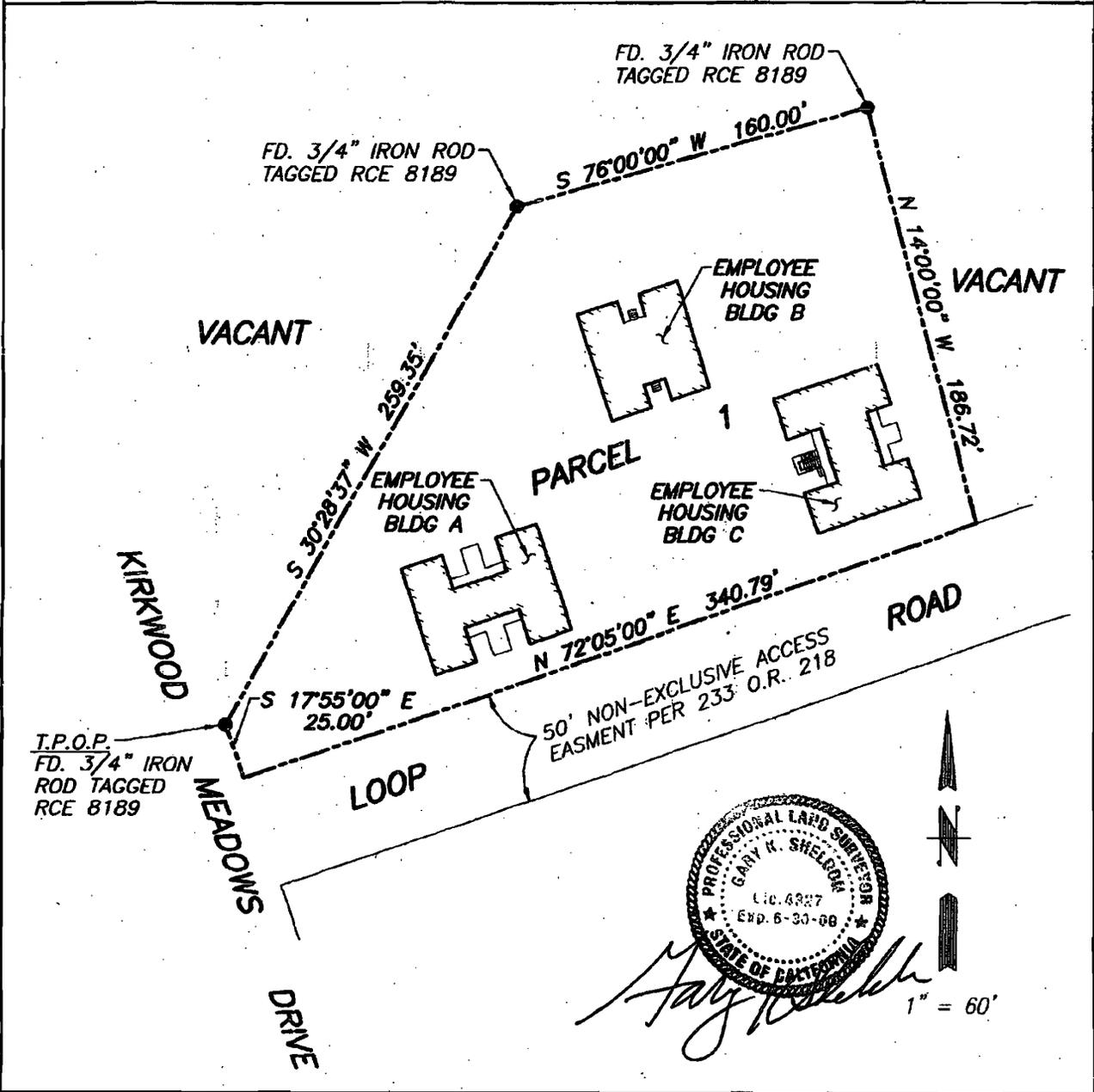


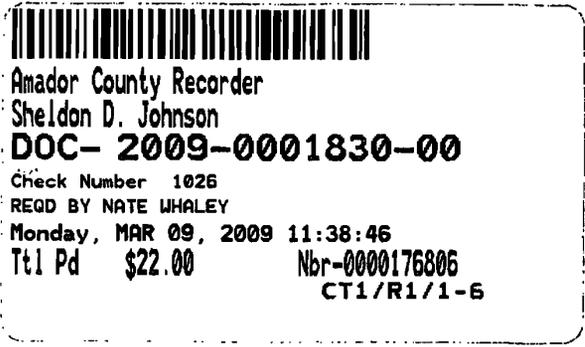
EXHIBIT "B"
RENWICK HOUSING

KIRKWOOD MEADOWS

END OF DOCUMENT
 AMADOR COUNTY

CALIFORNIA

END OF DOCUMENT



Recording requested by, and
when recorded return to:

Nate Whaley
Kirkwood Mountain Resort, LLC
Post Office Box 1
Kirkwood, CA 95646

**DECLARATION
OF
EMPLOYEE HOUSING COVENANTS AND RESTRICTIONS**

Pursuant to the provisions of the Kirkwood Specific Plan as adopted by the Amador County Board of Supervisors pursuant to Amador County Ordinance No. 1569, the real property owned by Kirkwood Mountain Resort, LLC, and described as follows, and any replacements thereof, shall be, and hereby is designated as an Employee Housing Unit:

Renwick Unit #5 as described in Exhibit A and Map attached as Exhibit B.

Only the above described apartment units shall be subject to this restriction, and the remainder of the above referenced property shall remain unencumbered by this restriction.

The above described Employee Housing Units are hereby subject to the following use covenants and restrictions:

1. Definitions. As used in this Declaration of Employee Housing Covenants and Restrictions "Declaration", the terms set forth below shall have the meanings provided below:

a. Employees Housing Unit shall mean any type of dwelling unit that is encumbered by a lease provision, recorded covenant, deed restriction, or other restriction, or otherwise recognized as provided in the Kirkwood Employee Housing Ordinance adopted as part of Amador County Ordinance No. 1569.

b. Employee shall be a person who is employed by a business or agency whose primary purpose is to provide services within the Kirkwood Resort area and may include any of the following:

(1) An employee or agent of Kirkwood Mountain Resort LLC, or its successors.

(2) An employee or agent of any other person or entity when such employee's or agent's principal place of work is within Kirkwood Resort area, and a direct connection can be made between the services provided by said employee and the operation of commercial activities located within the Kirkwood Resort area.

(3) An employee or agent of any state, local or federal governmental agency, when such employee's principal place of work is within the Kirkwood Resort area.

c. Permitted Family Members shall mean the spouse, and children, whether natural or by adoption of the relevant Employee.

d. Peak Season shall mean the four-month period commencing December 1st and ending March 31st of the next calendar year.

2. **Use Restrictions.** During any Peak Season, the Employee Housing Unit may be used or occupied only by a full time Employee and Permitted Family Members for personal residential purposes. Any other use or occupancy of the Employee Housing Unit during the Peak Season is prohibited. An employee is considered a full time employee, within the meaning of this Declaration, when he or she is to perform services for his or her employer or an average of thirty-two (32) or more hours per week.

3. **Verification.** Prior to allowing any person or persons to use or occupy the Employee Housing Unit during Ski Season confirmation shall be required from such person or persons, if so requested by any of the parties with enforcement power as provided in Section 7 below, that (a) he or she is an Employee, and (b) any other users or occupiers of the Employee Housing Unit are Permitted Family Members.

4. **Specific Plan.** In addition to these Restrictions and the provisions of applicable law, the use, occupancy, rental and sale of the Employee Housing Unit shall be subject to the applicable terms and provisions of the Kirkwood Specific Plan as amended from time to time.

5. **Lease Terms.** In the case of any leasing or rental of the Employee Housing Unit during Ski Season, the lease or other rental agreement shall be on a month-to-month basis and shall be terminable upon thirty (30) day prior written notice in the event that (a) the lessee, tenant or other occupancy or user of the Employee Housing Unit ceases to be an Employee, or (b) any lessee, tenant or other occupancy or user of the Employee Housing Unit is other than a Permitted Family Member.

6. **Audit and Inspection.** Representatives of Alpine, Amador or El Dorado Counties may, from time to time, inspect the Employee Housing Unit and records concerning the leasing, rental use or occupancy thereof so as to verify compliance with this Declaration and all applicable provisions of the Kirkwood Employee Housing Ordinance adopted as part of Amador County Ordinance No. 1569.

7. **Binding Effect.** This Declaration shall be binding upon each owner, lessee, tenant, occupant or user of the Employee Housing Unit and the successors and assigns of each such owner, and enforceable by (a) Kirkwood Mountain Resort, LLC, and its successors and assigns; (b) any employer some or all of whose employees or agents would be Employees as defined above, and (c) Amador, Amador or El Dorado Counties.

8. Sales and Conveyances. Any deed, deed of trust or other conveyance of any interest in the Employee Housing Unit shall contain a reference to this Declaration and its effect on the use of the Employee Housing Unit and a copy of this Declaration shall be attached to such deed, deed of trust or other conveyance.

9. Enforcement Action. This Declaration may be enforced by any appropriate legal or equitable action, including without limitation, an action for injunctive or similar relief. The prevailing party in any such action shall be entitled to recover from the non-prevailing party its costs and expenses in such action, including reasonable attorneys' fees, all as determined by the Court in such action or in another action brought for that purpose.

10. Reconsideration of Use Restriction. If, at some point in the future, the Tri-County Technical Advisory Committee (consisting of representatives of the planning departments of Alpine, Amador and El Dorado Counties and which administers the Kirkwood Specific Plan) determines that, in light of the existing and anticipated conditions and needs for Employee Housing Units in the Kirkwood area, the restriction on the use of Employee Housing Units are unnecessary or overly restrictive, the Tri-County Technical Advisory Committee may, in its discretion, terminate or reduce the scope of the restrictions imposed under this Declaration. In addition, this restriction may be terminated or reduced if a similar declaration is placed on a suitable unit(s) as replacement workforce housing.

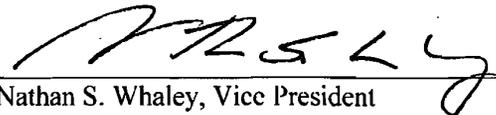
11. Severability. This Declaration shall be enforceable and valid to the maximum extent possible. The unenforceability or invalidity of any part of this Declaration shall not affect the validity or enforceability of the remainder of this Declaration.

12. Law Governing. This Declaration shall be interpreted and applied pursuant to the laws of the State of California applicable to contracts and executed and intended to be performed entirely in the State of California by residents of the State of California.

Dated: March 6, 2009

OWNER:

KIRKWOOD MOUNTAIN RESORT, LLC

By: 
Nathan S. Whaley, Vice President

ACKNOWLEDGEMENT BY NOTARY PUBLIC

State of California)
County of Alpine)

On March 6, 2009, before me, Sandy McKay,
a notary public, personally appeared Nathan S. Whaley, who proved to me on the basis of
satisfactory evidence to be the person(s) whose name(s) is/are subscribed to the within
instrument and acknowledged to me that he/she/they executed the same in his/her/their
authorized capacity(ies), and that by his/her/their signature(s) on the instrument the person(s), or
the entity upon behalf of which the person(s) acted, executed the instrument.

I certify under PENALTY OF PERJURY under the laws of the State of California that the
foregoing paragraph is true and correct.

WITNESS my hand and official seal

Sandy McKay
Signature

(Seal)



EXHIBIT A

Apartment 5 of the Renwick Apartment House Complex, a two bedroom apartment, located on the southwest corner of the second floor of Building A on a portion of that certain parcel of land described as Parcel 9 in that certain deed recorded in the real estate records of Amador County California at Doc. No. 2000-003627.

Parcel Nine:

All that portion of Section 27, Town 10 North, Range 17 East, M.D.B. & M., being described with reference to the official map of KIRKWOOD MEADOWS UNIT NO. 2, filed for record in Book 3 of Subdivision Maps, at Page 91, Amador County Records, as follows:

Beginning at a point on the Northeasterly boundary of Kirkwood Meadows Drive and the Northeasterly boundary of said Kirkwood Meadows, Unit No. 2, said point bearing Southeasterly 470.26 feet along said Northeasterly boundary from Southerly termination of the 20 foot radius round corner curve situate at the Southeast corner of Hawkweed Way and Kirkwood Meadows Drive, said point also bearing South 17° 55' East 15.68 feet from the Northwesterly termination of the course in said Northeasterly boundary which bears South 17° 55' East 258.00 feet; thence South 17° 55' East 25.00 feet along said Northeasterly boundary; thence North 72° 05' East 340.79 feet; thence North 14° 00' West 186.72 feet; thence South 76° 00' West 160.00 feet; thence south 30° 28' 37" West 259.35 feet to the point of beginning.

SHELDON LAND SURVEYING
1005 PERSIFER STREET
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(916) 985-1875

JOB NO.:
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 1" = 60'

REVISIONS:
 1-31-06

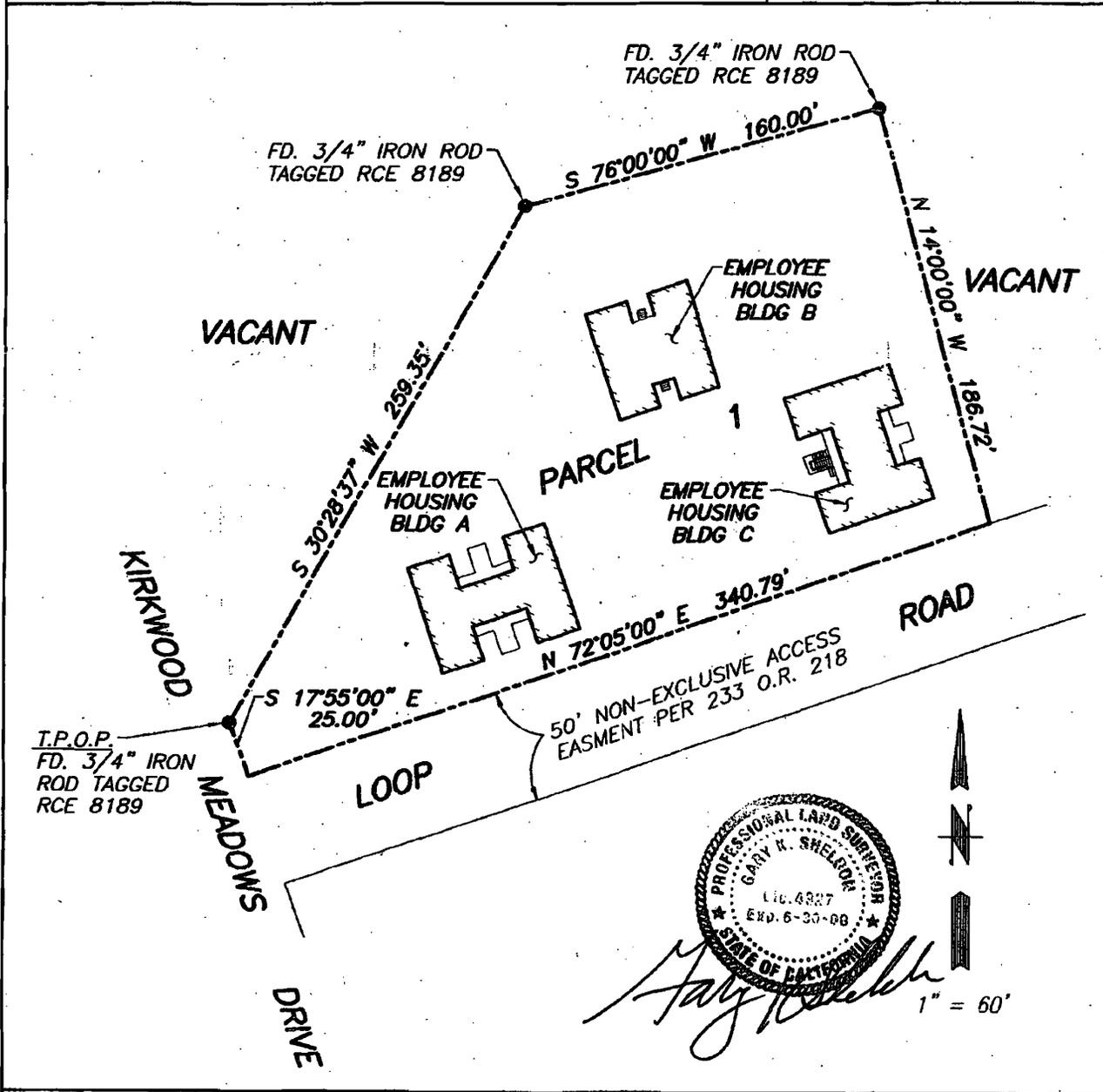
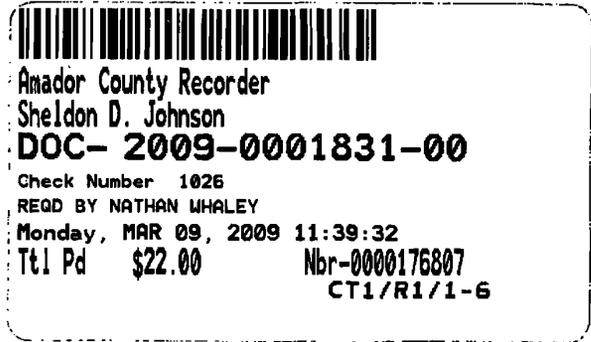


EXHIBIT "B"
RENWICK HOUSING

KIRKWOOD MEADOWS END OF DOCUMENT AMADOR COUNTY CALIFORNIA
 END OF DOCUMENT



Recording requested by, and
when recorded return to:

Nate Whaley
Kirkwood Mountain Resort, LLC
Post Office Box 1
Kirkwood, CA 95646

**DECLARATION
OF
EMPLOYEE HOUSING COVENANTS AND RESTRICTIONS**

Pursuant to the provisions of the Kirkwood Specific Plan as adopted by the Amador County Board of Supervisors pursuant to Amador County Ordinance No. 1569, the real property owned by Kirkwood Mountain Resort, LLC, and described as follows, and any replacements thereof, shall be, and hereby is designated as an Employee Housing Unit:

Renwick Unit #10 as described in Exhibit A and Map attached as Exhibit B.

Only the above described apartment units shall be subject to this restriction, and the remainder of the above referenced property shall remain unencumbered by this restriction.

The above described Employee Housing Units are hereby subject to the following use covenants and restrictions:

1. Definitions. As used in this Declaration of Employee Housing Covenants and Restrictions "Declaration", the terms set forth below shall have the meanings provided below:

a. Employees Housing Unit shall mean any type of dwelling unit that is encumbered by a lease provision, recorded covenant, deed restriction, or other restriction, or otherwise recognized as provided in the Kirkwood Employee Housing Ordinance adopted as part of Amador County Ordinance No. 1569.

b. Employee shall be a person who is employed by a business or agency whose primary purpose is to provide services within the Kirkwood Resort area and may include any of the following:

(1) An employee or agent of Kirkwood Mountain Resort LLC, or its successors.

(2) An employee or agent of any other person or entity when such employee's or agent's principal place of work is within Kirkwood Resort area, and a direct connection can be made between the services provided by said employee and the operation of commercial activities located within the Kirkwood Resort area.

(3) An employee or agent of any state, local or federal governmental agency, when such employee's principal place of work is within the Kirkwood Resort area.

c. Permitted Family Members shall mean the spouse, and children, whether natural or by adoption of the relevant Employee.

d. Peak Season shall mean the four-month period commencing December 1st and ending March 31st of the next calendar year.

2. **Use Restrictions.** During any Peak Season, the Employee Housing Unit may be used or occupied only by a full time Employee and Permitted Family Members for personal residential purposes. Any other use or occupancy of the Employee Housing Unit during the Peak Season is prohibited. An employee is considered a full time employee, within the meaning of this Declaration, when he or she is to perform services for his or her employer or an average of thirty-two (32) or more hours per week.

3. **Verification.** Prior to allowing any person or persons to use or occupy the Employee Housing Unit during Ski Season conformation shall be required from such person or persons, if so requested by any of the parties with enforcement power as provided in Section 7 below, that (a) he or she is an Employee, and (b) any other users or occupiers of the Employee Housing Unit are Permitted Family Members.

4. **Specific Plan.** In addition to these Restrictions and the provisions of applicable law, the use, occupancy, rental and sale of the Employee Housing Unit shall be subject to the applicable terms and provisions of the Kirkwood Specific Plan as amended from time to time.

5. **Lease Terms.** In the case of any leasing or rental of the Employee Housing Unit during Ski Season, the lease or other rental agreement shall be on a month-to-month basis and shall be terminable upon thirty (30) day prior written notice in the event that (a) the lessee, tenant or other occupancy or user of the Employee Housing Unit ceases to be an Employee, or (b) any lessee, tenant or other occupancy or user of the Employee Housing Unit is other than a Permitted Family Member.

6. **Audit and Inspection.** Representatives of Alpine, Amador or El Dorado Counties may, from time to time, inspect the Employee Housing Unit and records concerning the leasing, rental use or occupancy thereof so as to verify compliance with this Declaration and all applicable provisions of the Kirkwood Employee Housing Ordinance adopted as part of Amador County Ordinance No. 1569.

7. **Binding Effect.** This Declaration shall be binding upon each owner, lessee, tenant, occupant or user of the Employee Housing Unit and the successors and assigns of each such owner, and enforceable by (a) Kirkwood Mountain Resort, LLC, and its successors and assigns; (b) any employer some or all of whose employees or agents would be Employees as defined above, and (c) Amador, Amador or El Dorado Counties.

8. Sales and Conveyances. Any deed, deed of trust or other conveyance of any interest in the Employee Housing Unit shall contain a reference to this Declaration and its effect on the use of the Employee Housing Unit and a copy of this Declaration shall be attached to such deed, deed of trust or other conveyance.

9. Enforcement Action. This Declaration may be enforced by any appropriate legal or equitable action, including without limitation, an action for injunctive or similar relief. The prevailing party in any such action shall be entitled to recover from the non-prevailing party its costs and expenses in such action, including reasonable attorneys' fees, all as determined by the Court in such action or in another action brought for that purpose.

10. Reconsideration of Use Restriction. If, at some point in the future, the Tri-County Technical Advisory Committee (consisting of representatives of the planning departments of Alpine, Amador and El Dorado Counties and which administers the Kirkwood Specific Plan) determines that, in light of the existing and anticipated conditions and needs for Employee Housing Units in the Kirkwood area, the restriction on the use of Employee Housing Units are unnecessary or overly restrictive, the Tri-County Technical Advisory Committee may, in its discretion, terminate or reduce the scope of the restrictions imposed under this Declaration. In addition, this restriction may be terminated or reduced if a similar declaration is placed on a suitable unit(s) as replacement workforce housing.

11. Severability. This Declaration shall be enforceable and valid to the maximum extent possible. The unenforceability or invalidity of any part of this Declaration shall not affect the validity or enforceability of the remainder of this Declaration.

12. Law Governing. This Declaration shall be interpreted and applied pursuant to the laws of the State of California applicable to contracts and executed and intended to be performed entirely in the State of California by residents of the State of California.

Dated: March 6, 2009

OWNER:

KIRKWOOD MOUNTAIN RESORT, LLC

By:


Nathan S. Whaley, Vice President

ACKNOWLEDGEMENT BY NOTARY PUBLIC

State of California)
County of Alpine)

On March 6, 2009, before me, Sandy McKay,
a notary public, personally appeared Nathan S. Whaley, who proved to me on the basis of
satisfactory evidence to be the person(s) whose name(s) is/are subscribed to the within
instrument and acknowledged to me that he/she/they executed the same in his/her/their
authorized capacity(ies), and that by his/her/their signature(s) on the instrument the person(s), or
the entity upon behalf of which the person(s) acted, executed the instrument.

I certify under PENALTY OF PERJURY under the laws of the State of California that the
foregoing paragraph is true and correct.

WITNESS my hand and official seal

Sandy McKay
Signature

(Seal)

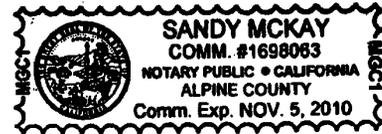


EXHIBIT A

Apartment 10 of the Renwick Apartment House Complex, a one bedroom apartment, located on the southeast corner of the first floor of Building B on a portion of that certain parcel of land described as Parcel 9 in that certain deed recorded in the real estate records of Amador County California at Doc. No. 2000-003627.

Parcel Nine:

All that portion of Section 27, Town 10 North, Range 17 East, M.D.B. & M., being described with reference to the official map of KIRKWOOD MEADOWS UNIT NO. 2, filed for record in Book 3 of Subdivision Maps, at Page 91, Amador County Records, as follows:

Beginning at a point on the Northeasterly boundary of Kirkwood Meadows Drive and the Northeasterly boundary of said Kirkwood Meadows, Unit No. 2, said point bearing Southeasterly 470.26 feet along said Northeasterly boundary from Southerly termination of the 20 foot radius round corner curve situate at the Southeast corner of Hawkweed Way and Kirkwood Meadows Drive, said point also bearing South 17° 55' East 15.68 feet from the Northwesterly termination of the course in said Northeasterly boundary which bears South 17° 55' East 258.00 feet; thence South 17° 55' East 25.00 feet along said Northeasterly boundary; thence North 72° 05' East 340.79 feet; thence North 14° 00' West 186.72 feet; thence South 76° 00' West 160.00 feet; thence south 30° 28' 37" West 259.35 feet to the point of beginning.

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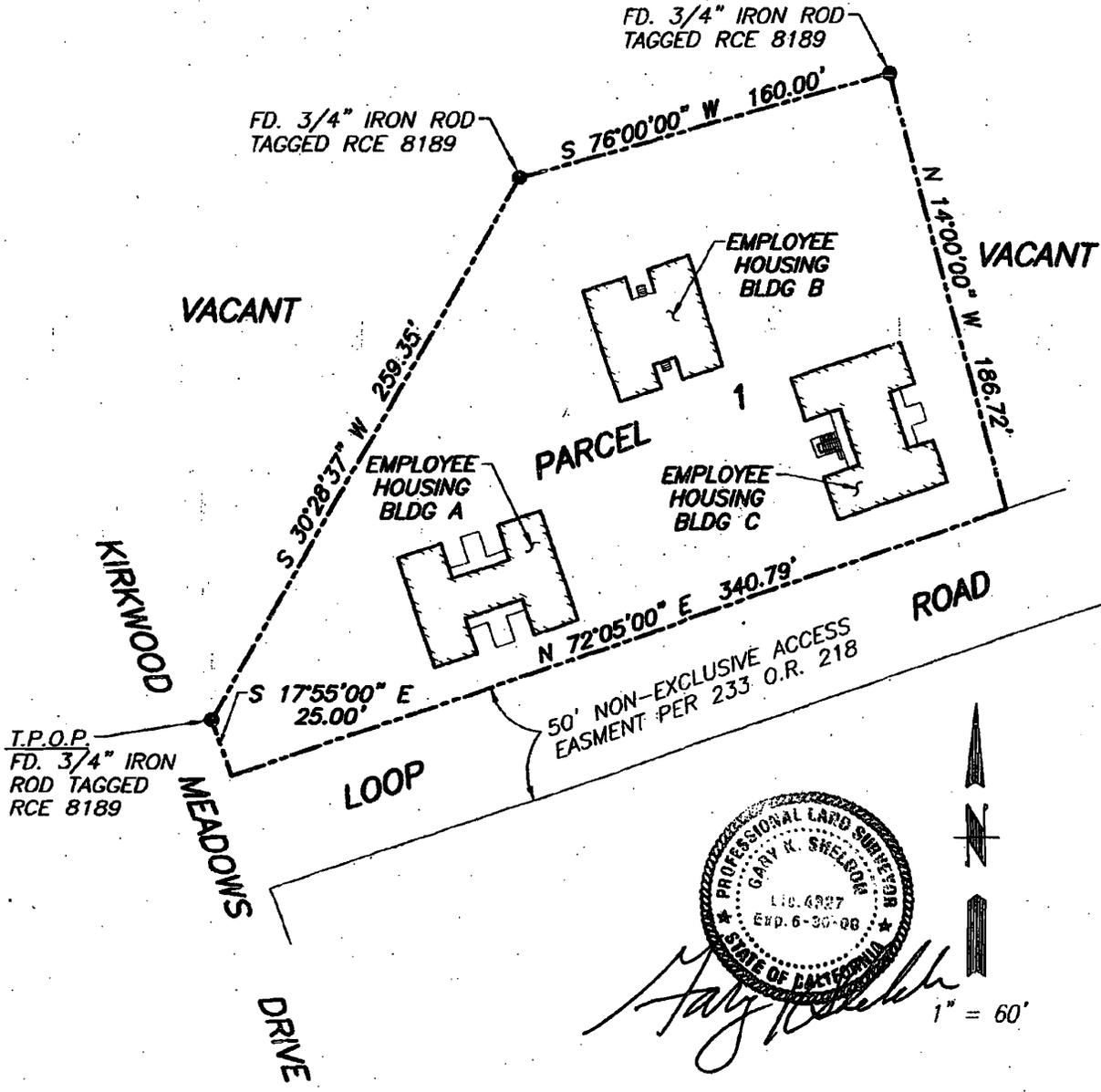


EXHIBIT "B"
RENWICK HOUSING

END OF DOCUMENT
 AMADOR COUNTY

KIRKWOOD MEADOWS

CALIFORNIA

END OF DOCUMENT

Recording requested by, and
when recorded return to:

Nate Whaley
Kirkwood Mountain Resort, LLC
Post Office Box 1
Kirkwood, California 95646

	
Amador County Recorder Sheldon D. Johnson DOC- 2009-0010249-00	
Check Number 1031	
REQD BY KIRKWOOD MOUNTAIN RESORT LLC	
Wednesday, DEC 16, 2009 11:01:42	
Ttl Pd \$22.00	Nbr-0000188582
CT2/R1/1-6	

**DECLARATION
OF
EMPLOYEE HOUSING COVENANTS AND RESTRICTIONS**

Pursuant to the provisions of the Kirkwood Specific Plan as adopted by the Amador County Board of Supervisors pursuant to Amador County Ordinance No. 1569, the real property owned by Kirkwood Mountain Resort, LLC, and described as follows, and any replacements thereof, shall be, and hereby is designated as an Employee Housing Unit:

Renwick Unit #19 as described in Exhibit A and Map attached as Exhibit B.

Only the above described apartment units shall be subject to this restriction and the remainder of the above referenced property shall remain unencumbered by this restriction.

The above described Employee Housing Units are hereby subject to the following use covenants and restrictions:

1. Definitions. As used in this Declaration of Employee Housing Covenants and Restrictions "Declaration", the terms set forth below shall have the meanings provided below:

a. Employee Housing Unit shall mean any type of dwelling unit that is encumbered by a lease provision, recorded covenant, deed restriction, or other restriction, or otherwise recognized as provided in the Kirkwood Employee Housing Ordinance adopted as part of Amador County Ordinance No. 1569.

b. Employee shall be a person who is employed by a business or agency whose primary purpose is to provide services within the Kirkwood Resort area and may include any of the following:

(1) An employee or agent of Kirkwood Mountain Resort LLC, or its successors.

(2) An employee or agent of any other person or entity when such employee's or agent's principal place of work is within Kirkwood Resort area, and a direct connection can be made between the services provided by said employee and the operation of commercial activities located within the Kirkwood Resort area.

(3) An employee or agent of any state, local or federal governmental agency, when such employee's principal place of work is within the Kirkwood Resort area.

c. Permitted Family Members shall mean the spouse, and children, whether natural or by adoption of the relevant Employee.

d. Peak Season shall mean the four-month period commencing December 1st and ending March 31st of the next calendar year.

2. **Use Restrictions.** During any Peak Season, the Employee Housing Unit may be used or occupied only by a full time Employee and Permitted Family Members for personal residential purposes. Any other use or occupancy of the Employee Housing Unit during the Peak Season is prohibited. An employee is considered a full time employee, within the meaning of this Declaration, when he or she is to perform services for his or her employer or an average of thirty-two (32) or more hours per week.

3. **Verification.** Prior to allowing any person or persons to use or occupy the Employee Housing Unit during Ski Season confirmation shall be required from such person or persons, if so requested by any of the parties with enforcement power as provided in Section 7 below, that (a) he or she is an Employee, and (b) any other users or occupiers of the Employee Housing Unit are Permitted Family Members.

4. **Specific Plan.** In addition to these Restrictions and the provisions of applicable law, the use, occupancy, rental and sale of the Employee Housing Unit shall be subject to the applicable terms and provisions of the Kirkwood Specific Plan as amended from time to time.

5. **Lease Terms.** In the case of any leasing or rental of the Employee Housing Unit during Ski Season, the lease or other rental agreement shall be on a month-to-month basis and shall be terminable upon thirty (30) day prior written notice in the event that (a) the lessee, tenant or other occupancy or user of the Employee Housing Unit ceases to be an Employee, or (b) any lessee, tenant or other occupancy or user of the Employee Housing Unit is other than a Permitted Family Member.

6. **Audit and Inspection.** Representatives of Alpine, Amador or El Dorado Counties may, from time to time, inspect the Employee Housing Unit and records concerning the leasing, rental use or occupancy thereof so as to verify compliance with this Declaration and all applicable provisions of the Kirkwood Employee Housing Ordinance adopted as part of Amador County Ordinance No. 1569.

7. **Binding Effect.** This Declaration shall be binding upon each owner, lessee, tenant, occupant or user of the Employee Housing Unit and the successors and assigns of each such owner, and enforceable by (a) Kirkwood Mountain Resort, LLC, and its successors and assigns; (b) any employer some or all of whose employees or agents would be Employees as defined above, and (c) Amador, Amador or El Dorado Counties.

8. Sales and Conveyances. Any deed, deed of trust or other conveyance of any interest in the Employee Housing Unit shall contain a reference to this Declaration and its effect on the use of the Employee Housing Unit and a copy of this Declaration shall be attached to such deed, deed of trust or other conveyance.

9. Enforcement Action. This Declaration may be enforced by any appropriate legal or equitable action, including without limitation, an action for injunctive or similar relief. The prevailing party in any such action shall be entitled to recover from the non-prevailing party its costs and expenses in such action, including reasonable attorneys' fees, all as determined by the Court in such action or in another action brought for that purpose.

10. Reconsideration of Use Restriction. If, at some point in the future, the Tri-County Technical Advisory Committee (consisting of representatives of the planning departments of Alpine, Amador and El Dorado Counties and which administers the Kirkwood Specific Plan) determines that, in light of the existing and anticipated conditions and needs for Employee Housing Units in the Kirkwood area, the restriction on the use of Employee Housing Units are unnecessary or overly restrictive, the Tri-County Technical Advisory Committee may, in its discretion, terminate or reduce the scope of the restrictions imposed under this Declaration. In addition, this restriction may be terminated or reduced if a similar declaration is placed on a suitable unit(s) as replacement workforce housing.

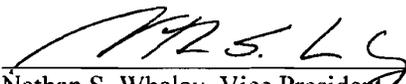
11. Severability. This Declaration shall be enforceable and valid to the maximum extent possible. The unenforceability or invalidity of any part of this Declaration shall not affect the validity or enforceability of the remainder of this Declaration.

12. Law Governing. This Declaration shall be interpreted and applied pursuant to the laws of the State of California applicable to contracts and executed and intended to be performed entirely in the State of California by residents of the State of California.

Dated: December 4, 2009

OWNER:

KIRKWOOD MOUNTAIN RESORT, LLC

By: 
Nathan S. Whaley, Vice President

ACKNOWLEDGEMENT BY NOTARY PUBLIC

State of California)
County of Alpine)

On December 4, 2009, before me, Sandy McKay
a notary public, personally appeared Nathan S. Whaley, who proved to me on the basis of
satisfactory evidence to be the person(s) whose name(s) is/are subscribed to the within
instrument and acknowledged to me that he/shc/they executed the same in his/her/their
authorized capacity(ies), and that by his/her/their signature(s) on the instrument the person(s), or
the entity upon behalf of which the person(s) acted, executed the instrument.

I certify under PENALTY OF PERJURY under the laws of the State of California that the
foregoing paragraph is true and correct.

WITNESS my hand and official seal

Sandy McKay
Signature

(Seal)

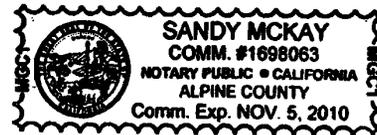


EXHIBIT A

Apartment 19 of the Renwick Apartment House Complex, a two bedroom apartment, located on the southeast corner of the first floor of Building C on a portion of that certain parcel of land described as Parcel 9 in that certain deed recorded in the real estate records of Amador County California at Doc. No. 2000-003627 as follows:

Parcel 9

All that portion of Section 27, Town 10 North, Range 17 East, M.D.B. & M., being described with reference to the official map of Kirkwood Meadows Unit No. 2, filed for record in Book 3 of Subdivision Maps, at Page 91, Amador County Records, as follows:

Beginning at a point on the Northeasterly boundary of Kirkwood Meadows Drive and the Northeasterly boundary of said Kirkwood Meadows Unit No. 2, said point bearing Southeasterly 470.26 feet along said Northeasterly boundary from Southerly termination of the 20 foot radius round corner curve situate at the Southeast corner of Hawkweed Way and Kirkwood Meadows Drive, said point also bearing South 17° 55' East 15.68 feet from the Northwesterly termination of the course in said Northeasterly boundary which bears South 17° 55' East 258.00 feet; thence South 17° 55' East 25.00 feet along said Northeasterly boundary; thence North 72° 05' East 340.79 feet; thence North 14° 00' West 186.72 feet; thence South 76° 00' West 160.00 feet; thence South 30° 28' 37" West 259.35 feet to the point of beginning.

EXHIBIT B

MAP

SHELDON LAND SURVEYING
1005 PERSIFER STREET
FOLSOM, CALIFORNIA 95630
(916) 985-1875

JOB NO.:
S983.01

DATE:
1-27-05

SCALE:
1" = 60'

REVISIONS:
1-31-06

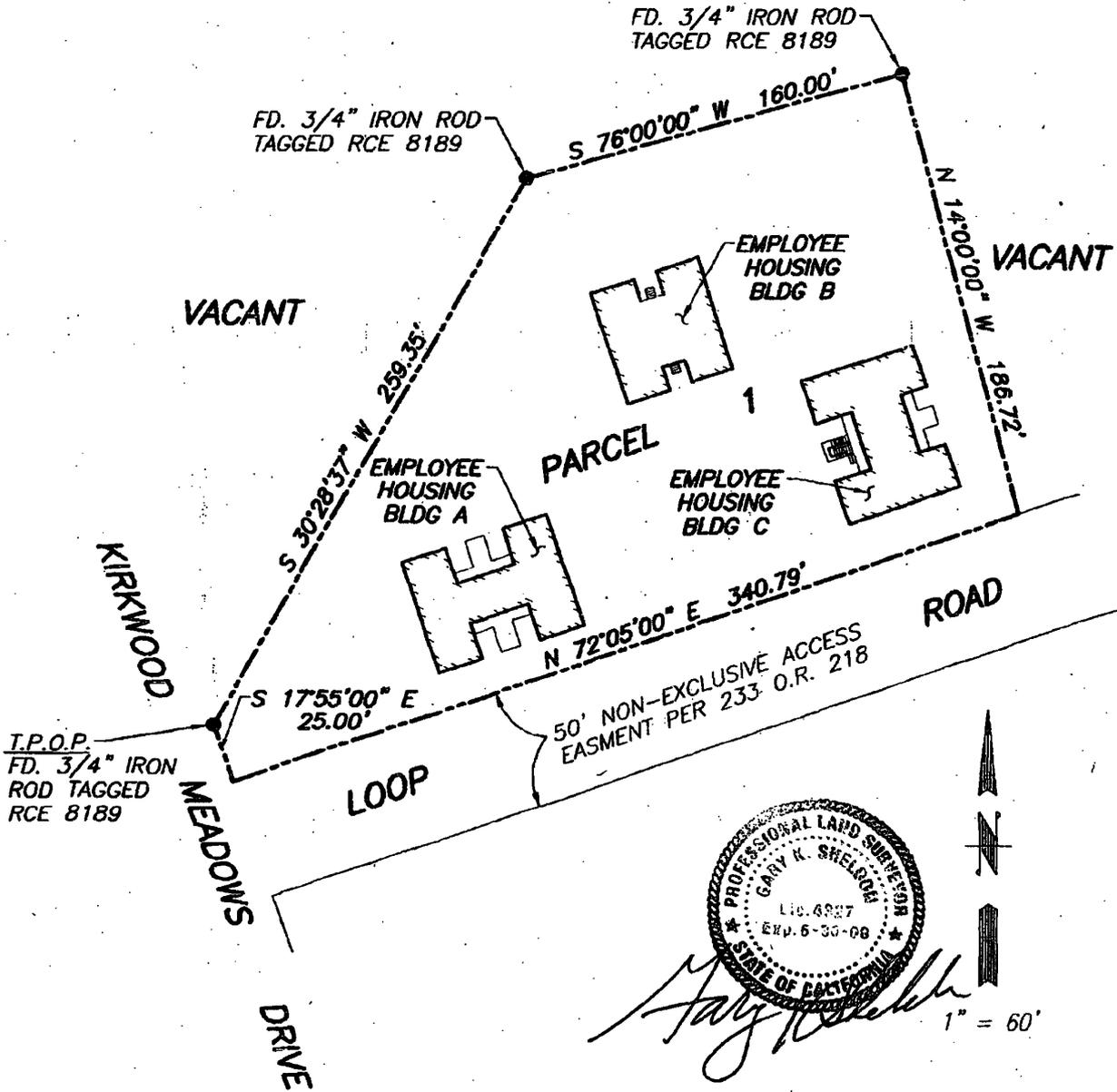


EXHIBIT "B"
RENWICK HOUSING

KIRKWOOD MEADOWS END OF DOCUMENT AMADOR COUNTY CALIFORNIA

END OF DOCUMENT