



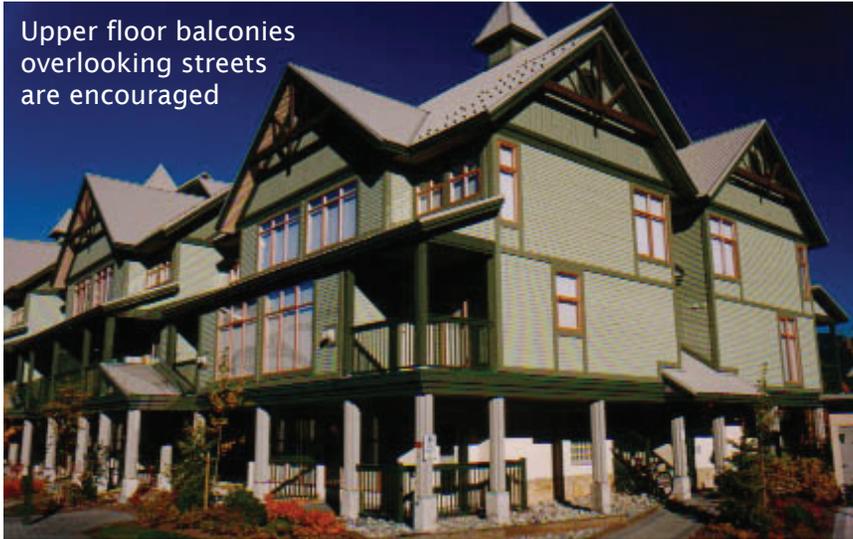
3.7 MIXED-USE GUIDELINES

Mixed-use projects are not required but are encouraged as an optional development type along the corridor. Mixed-use projects combine commercial, office, and/or residential uses into one single development. The uses can be combined in multiple ways, such as each use on a separate floor or wing of a building or each use in completely separate buildings on one site. Mixed-use projects can create unique design challenges, such as the need to balance the requirements of residential uses with the needs of commercial uses.

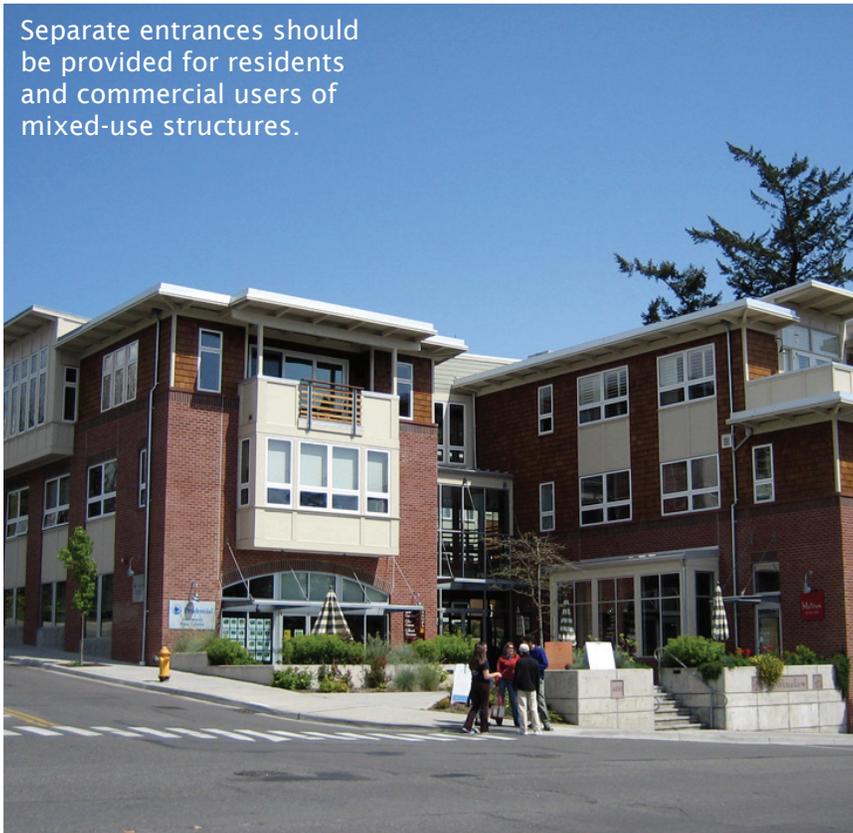
1. Architectural style and use of quality materials shall be consistent throughout an entire mixed-use project; however, variations in materials and details may be used to differentiate between residential and nonresidential portions of the project.
2. High quality landscaping shall be used within mixed-use projects to enhance public spaces, provide shade and cooling, and provide barriers between sidewalks and streets.
3. Long expanses of blank walls or unbroken series of garage doors is strongly discouraged.
4. Upper floor balconies, bays, and windows that overlook streets and courtyards are encouraged.
5. Separate entrances should be provided for residents and commercial users of mixed-use structures.

Mixed-use projects are encouraged





Upper floor balconies overlooking streets are encouraged



Separate entrances should be provided for residents and commercial users of mixed-use structures.

6. Lighting for nonresidential uses should be designed, located, and shielded to protect residential uses from adverse light and glare.
7. Common open space areas provided for residents should be designed to limit intrusion by non-residents.
8. Public safety and security should be maintained through “eyes on the street”, by appropriate placement of windows and entrances and provision of adequate lighting.
9. Loading areas, recycling, and refuse storage facilities should be located away from residential areas, and should be compatible in architectural design and details with the overall project.
10. Special consideration should be given to the location and screening of noise generating equipment, such as refrigeration units and air conditioning and exhaust fans. Noise reducing screens and insulation may be required if any equipment has the potential to create a negative impact on residential uses.
11. Separate parking facilities should be provided for residential uses and commercial uses.
12. Safe, secure, and convenient bicycle parking facilities and bike routes shall be provided, with links to adjacent trails.



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MISSOURI FLAT Design Guidelines